

PLANNING COMMISSION AGENDA

**Tuesday, November 26, 2024
6:30 PM**

**Diamond Bar City Hall – Windmill Community Room
21810 Copley Drive, Diamond Bar, CA 91765**

PUBLIC ADVISORY:

Members of the public are encouraged to participate and address the Planning Commission during the public comment portion of the meeting either in person or via teleconference.

CHAIR	RUBEN TORRES
VICE CHAIR	MAHENDRA GARG
COMMISSIONER	NAILA BARLAS
COMMISSIONER	WILLIAM RAWLINGS
COMMISSIONER	RAYMOND WOLFE

How to Observe the Meeting From Home:

Members of the public can observe the meeting by calling +1 (562) 247-8321, [Access Code: 792-102-575](https://attendee.gotowebinar.com/register/5186933353278163551), or visiting <https://attendee.gotowebinar.com/register/5186933353278163551>

How to Submit Public Comment:

Please note, that in the event that comments by teleconferencing become infeasible due to an Internet or power outage or technical problems outside the City's control, the meeting at Diamond Bar City Hall – Windmill Community Room, 21810 Copley Drive, Diamond Bar, CA 91765 will proceed without interruption. If you wish to make certain that your comments are heard, please attend the meeting in person or send an email by 4:00 p.m. on the day of the meeting/hearing

The public may provide public comment by attending the meeting in person, by sending an email, or by logging into the teleconference. Please send email public comments to Planning@DiamondBarCA.gov by 4:00 p.m. on the day of the meeting and indicate in the Subject Line "FOR PUBLIC COMMENT." Written comments will be distributed to the Planning Commission members and read into the record at the meeting, up to a maximum of five minutes.

Members of the public will be called upon one at a time during the Public Comment portion of the agenda. Speakers are limited to five minutes per agenda item, unless the Chairperson determines otherwise.

American Disability Act Accommodations:

Pursuant to the Executive Order, and in compliance with the Americans with Disabilities Act, if you need special assistance to participate in the Planning Commission Meeting, please contact the Community Development Office (909) 839-7030 within 72 hours of the meeting. Commission recordings will be available upon request the day following the Planning Commission Meeting.

City of Diamond Bar
Planning Commission

MEETING RULES

PUBLIC INPUT

Members of the public may address the Planning Commission on any item of business on the agenda during the time the item is taken up by the Planning Commission. In addition, members of the public may, during the Public Comment period address the Planning Commission on any Consent Calendar item or any matter not on the agenda and within the Planning Commission's subject matter jurisdiction. Any material to be submitted to the Planning Commission at the meeting should be submitted through the Minutes Secretary.

Speakers are limited to five minutes per agenda item, unless the Chairperson determines otherwise. The Chairperson may adjust this time limit depending on the number of people wishing to speak, the complexity of the matter, the length of the agenda, the hour and any other relevant consideration. Speakers may address the Planning Commission only once on an agenda item, except during public hearings, when the applicant/appellant may be afforded a rebuttal.

Public comments must be directed to the Planning Commission. Behavior that disrupts the orderly conduct of the meeting may result in the speaker being removed from the meeting.

INFORMATION RELATING TO AGENDAS AND ACTIONS OF THE PLANNING COMMISSION

Agendas for regular Planning Commission meetings are available 72 hours prior to the meeting and are posted in the City's regular posting locations and on the City's website at www.diamondbarca.gov. The Planning Commission may take action on any item listed on the agenda.

Copies of staff reports or other written documentation relating to agenda items are on file in the Planning Division of the Community Development Department, located at 21810 Copley Drive, and are available for public inspection upon request. If you have questions regarding an agenda item, please call (909) 839-7030 during regular business hours.

HELPFUL CONTACT INFORMATION

Copies of Agenda, Rules of the Planning Commission, Recordings of Meetings (909) 839-7030

Email: info@diamondbarca.gov

Website: www.diamondbarca.gov

**CITY OF DIAMOND BAR
PLANNING COMMISSION
November 26, 2024**

AGENDA

Next Resolution No. 2024-12

CALL TO ORDER: 6:30 p.m.

PLEDGE OF ALLEGIANCE:

1. **ROLL CALL:** COMMISSIONERS: Barlas, Rawlings, Wolfe, Vice Chair Garg, Chair Torres
2. **APPROVAL OF AGENDA:** Chair
3. **PUBLIC COMMENTS:**

"Public Comments" is the time reserved on each regular meeting agenda to provide an opportunity for members of the public to directly address the Planning Commission on consent calendar items or other matters of interest not on the agenda that are within the subject matter jurisdiction of the Planning Commission. Although the Planning Commission values your comments, pursuant to the Brown Act, members of the Planning Commission or staff may briefly respond to public comments, if necessary, but no extended discussion and no action on such matters may take place. There is a five-minute maximum time limit when addressing the Planning Commission. Please complete a speaker card and hand it to the Minutes Secretary (completion of this form is voluntary). The Planning Commission will call on in-person speakers first and then teleconference callers, one at a time to give their name and if there is an agenda item number they wish to speak on before providing their comment. If you wish to speak on a public hearing item or Planning Commission consideration item, you will then be called upon to speak at that point in the agenda.

4. CONSENT CALENDAR:

The following items listed on the consent calendar are considered routine and are approved by a single motion. Consent calendar items may be removed from the agenda by request of the Planning Commission only:

4.1 MINUTES OF THE PLANNING COMMISSION REGULAR MEETING – November 12, 2024.

5. **OLD BUSINESS:** None.
6. **NEW BUSINESS:** None.

7. PUBLIC HEARING:

- 7.1 Conditional Use Permit Planning Case No. PL2024-15 (“Project”):** Under the authority of DBCC Section 22.58, the property owner and applicant are requesting a Conditional Use Permit to operate a 13,830 square-foot child day care center for Kingdom Seed Academy, within an existing building previously occupied by office uses on a 3.37-acre site. The remaining 22,740 square feet of the building is currently occupied by an elementary school. The subject property is zoned Professional Office (OP) with an underlying General Plan land use designation of Office (O)

PROJECT ADDRESS: 3333 S. Diamond Canyon Road
Diamond Bar, CA 91765 (8269-011-015)

APPLICANT: Jason Chen for Kingdom Seed Academy
3333 S. Diamond Canyon Road
Diamond Bar, Ca 91765

PROPERTY OWNER: Omeda Investment, LLC
2259 Celano Ct.
Chino Hills, CA 91709

ENVIRONMENTAL DETERMINATION: The project has been reviewed for compliance with the California Environmental Quality Act (CEQA). Based on that assessment, the City has determined the project to be Categorical Exempt from the provisions of CEQA pursuant to Article 19 under Section 15301(a) (interior alterations involving such things as interior partitions, plumbing, and electrical conveyances) of the CEQA Guidelines. No further environmental review is required

RECOMMENDATION: Staff recommends that the Planning Commission adopt the attached Resolution (Attachment 1) approving Conditional Use Permit No. PL2024-15, based on the findings of Diamond Bar City Code (DBCC) Section 22.58, subject to conditions.

8. PLANNING COMMISSION COMMENTS / INFORMATIONAL ITEMS:**9. STAFF COMMENTS / INFORMATIONAL ITEMS:****9.1 Project Status Report**

10. SCHEDULE OF FUTURE EVENTS:

THANKSGIVING HOLIDAY:	Thursday, November 28, 2024 Friday, November 29, 2024 In observance of Thanksgiving, City offices will be closed.
CITY COUNCIL MEETINGS:	Tuesday, December 3, 2024, 6:30 p.m. South Coast Air Quality Management District 21865 Copley Drive
PLANNING COMMISSION MEETING:	Tuesday, December 10, 2024, 6:30 pm Diamond Bar City Hall Windmill Room
CHRISTMAS HOLIDAY:	Tuesday, December 24, 2024 Wednesday, December 25, 2024 In observance of the Christmas holiday, City offices will be closed. City offices will reopen on Thursday, December 26, 2024.

11. ADJOURNMENT

**MINUTES OF THE CITY OF DIAMOND BAR
REGULAR MEETING OF THE PLANNING COMMISSION
November 12, 2024**

CALL TO ORDER:

C/Torres called the meeting to order at 6:30 p.m. in the South Coast Air Quality Management District/Government Center Room CC-8, 21865 Copley Drive, Diamond Bar, CA 91765.

PLEDGE OF ALLEGIANCE: C/Wolfe led the Pledge of Allegiance.

1. ROLL CALL: Commissioners Barlas, Rawlings, Wolfe,
Vice Chair Garg, Chair Torres

ABSENT: None.

STAFF PRESENT: Greg Gubman, Community Development Director, Grace Lee, Planning Manager; May Nakajima, Senior Planner, Arlene Laviera, Administrative Coordinator and James H. Eggart, City Attorney via Goto Webinar

2. APPROVAL OF AGENDA: As Submitted.

3. PUBLIC COMMENTS: None.

4. CONSENT CALENDAR:

4.1 Minutes of the Joint City Council/Planning Commission Study Session - October 8, 2024

C/Wolfe moved, and C/Rawlings seconded to approve consent calendar. Motion carried 5-0 by the following Roll Call vote:

AYES:	COMMISSIONERS:	Barlas, Rawlings, Wolfe, VC/Garg, C/Torres
NOES:	COMMISSIONERS:	None
ABSTAIN:	COMMISSIONERS:	None
ABSENT:	COMMISSIONERS:	None

4.2 Minutes of the Planning Commission Regular Meeting - October 8, 2024

C/Wolfe moved, and C/Rawlings seconded to approve consent calendar. Motion carried 5-0 by the following Roll Call vote:

AYES:	COMMISSIONERS:	Barlas, Rawlings, Wolfe, VC/Garg, C/Torres
NOES:	COMMISSIONERS:	None
ABSTAIN:	COMMISSIONERS:	None
ABSENT:	COMMISSIONERS:	None

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PLANNING COMMISSION

5. **OLD BUSINESS:** None.

6. **NEW BUSINESS:**

7. **CONTINUED PUBLIC HEARING:**

- 7.1 **Development Review and Tree Permit No. PL2024-36:** Under the authority of DBCC Section 22.38 and 22.48, the applicant, Philip K. Chan, and the property owner, LHL 688 LLC, are requesting Development Review approval for the construction of a new 9,484 square-foot single-family residence with an 837 square-foot garage, 958 square feet of balcony area, 698 square feet of porch area, swimming pool and rear yard improvements on a 49,223 gross square-foot (1.13 gross acre) undeveloped lot. A Tree Permit (TP) is also requested to remove two protected California black walnut trees and one coast live oak tree and replace with nine coast live oak trees on site. The subject property is zoned Rural Residential (RR) with an underlying General Plan land use designation of Rural Residential.

PROJECT ADDRESS: 2537 Indian Creek Road
Diamond Bar, CA 91765

APPLICANT: Philip K. Chen
711 S. First Avenue
Arcadia, CA 91006

PROPERTY OWNER: LHL 688 LLC
14328 Lomitas Avenue
City of Industry, CA 91746

ENVIRONMENTAL DETERMINATION: The project has been reviewed for compliance with the California Environmental Quality Act (CEQA). Based on that assessment, the City has determined the project to be Categorically Exempt from the provisions of CEQA pursuant to Article 19 under Section 15303(a) (construction of a new single-family residence) of the CEQA Guidelines. No further environmental review is required.

RECOMMENDATION: Staff recommends that the Planning Commission approve Development Review and Tree Permit No. PL2024-36 based on the findings of fact, and subject to the conditions of approval as listed within the draft resolution.

SP/Nakajima presented the staff report.

C/Torres opened the public hearing.
No public comments were offered.

Philip K. Chan, Applicant, provided an overview of the project.

C/Torres closed public hearing.

Rawlings moved, Garg seconded, to approve Development Review and Tree Permit No. PL2024-36, subject to conditions of approval. Motion carried by the following Roll Call vote:

AYES:	COMMISSIONERS: Barlas, Rawlings, Wolfe, VC/Garg, C/Torres
NOES:	COMMISSIONERS: None
ABSTAIN:	COMMISSIONERS: None
ABSENT:	COMMISSIONERS: None

8. PLANNING COMMISSION COMMENTS/INFORMATION ITEMS:

None.

9. STAFF COMMENTS/INFORMATIONAL ITEMS:

CDD/Gubman reported there will be a Planning Commission meeting on November 26, 2024.

10. SCHEDULE OF FUTURE EVENTS:

As noted in the agenda.

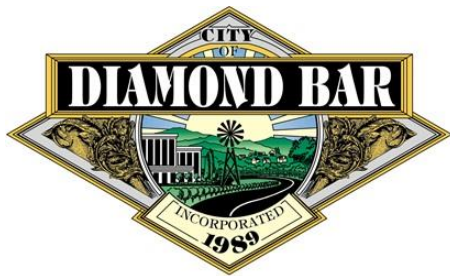
ADJOURNMENT: With no further business before the Planning Commission, C/Torres adjourned the Regular Planning Commission meeting at 6:48 p.m. to the next regularly scheduled meeting on Tuesday, November 26, 2024.

The foregoing minutes are hereby approved this 26TH day of November, 2024.

Attest:
Respectfully Submitted,

Greg Gubman, Community Development Director

Ruben Torres, Chair



PLANNING COMMISSION AGENDA REPORT

CITY OF DIAMOND BAR ~ 21810 COPLEY DRIVE ~ DIAMOND BAR, CA 91765 ~ TEL. (909) 839-7030 ~ FAX (909) 861-3117

AGENDA ITEM NUMBER: 7.1

MEETING DATE: November 26, 2024

CASE/FILE NUMBER: Conditional Use Permit No. PL2024-15

PROJECT LOCATION: 3333 Diamond Canyon Road
Diamond Bar, CA 91765
(APN 8269-011-015)

GENERAL PLAN DESIGNATION: Office

ZONING DISTRICT: Professional Office (OP)

PROPERTY OWNER: Omeda Investment, LLC
2259 Celano Ct
Chino Hills, CA 91709

APPLICANT: Jason Chen
Kingdom Seed Academy
3333 S. Diamond Canyon Road
Diamond Bar, CA 91765

SUMMARY:

The applicant is requesting approval of a Conditional Use Permit (CUP) to operate a 13,830 square-foot child day care at Kingdom Seed Academy, within an existing building previously occupied by office uses on a 3.37-acre site. The remaining 22,740 square feet of the building is currently occupied by a private elementary school.

RECOMMENDATION:

Adopt the attached Resolution (Attachment 1) approving Conditional Use Permit No. PL2024-15, based on the findings of Diamond Bar City Code (DBCC) Section 22.58, subject to conditions.

BACKGROUND:

The property was developed in 1989 with a 36,570 square-foot office building. The building was originally occupied by Biosense Webster (a subsidiary of Johnson & Johnson), followed by other office tenants and a years-long period of vacancy. In 2023, Kingdom Seed Academy—a Christian-based, non-profit elementary school—started occupying 22,740 square feet of the building on the west side. Currently, 20 staff members are employed at the school and approximately 50 students are enrolled. At maximum capacity, the school could enroll up to 128 students. Education is available from Transitional Kindergarten through 5th grade. There are 109 total off-street parking spaces on site.

During the review of the CUP, the Building Official found that the school did not obtain permits to change the use of the building from office to school, which requires an analysis to verify that the building complies with fire rating and exiting requirements. A condition of approval is included in the draft resolution to finalize these permits for the school, prior to issuance of a final Certificate of Occupancy for the child day care center.

The property is legally described as Lot 1 of Tract No. 50415. The Assessor's Parcel Number (APN) is 8269-011-015.

Site and Surrounding General Plan, Zoning and Land Uses

The project site is located on the north side of Diamond Canyon Road and west of the State Route 57 freeway. The site is surrounded by single-family residences to the west, hillside open space to the north, and church to the south.



Site (Plan View) Aerial

The following table describes the surrounding land uses located adjacent to the subject property:

General Plan Designation		Zoning	Land Uses
Site	Office	OP	Elementary School
North	Open Space	OS	Open Space
South	Office	OP	Church
East	N/A	N/A	SR-57 Freeway
West	Low Medium Residential	RLM	Single-Family Homes



Project Site Looking North



Adjacent Homes to the West



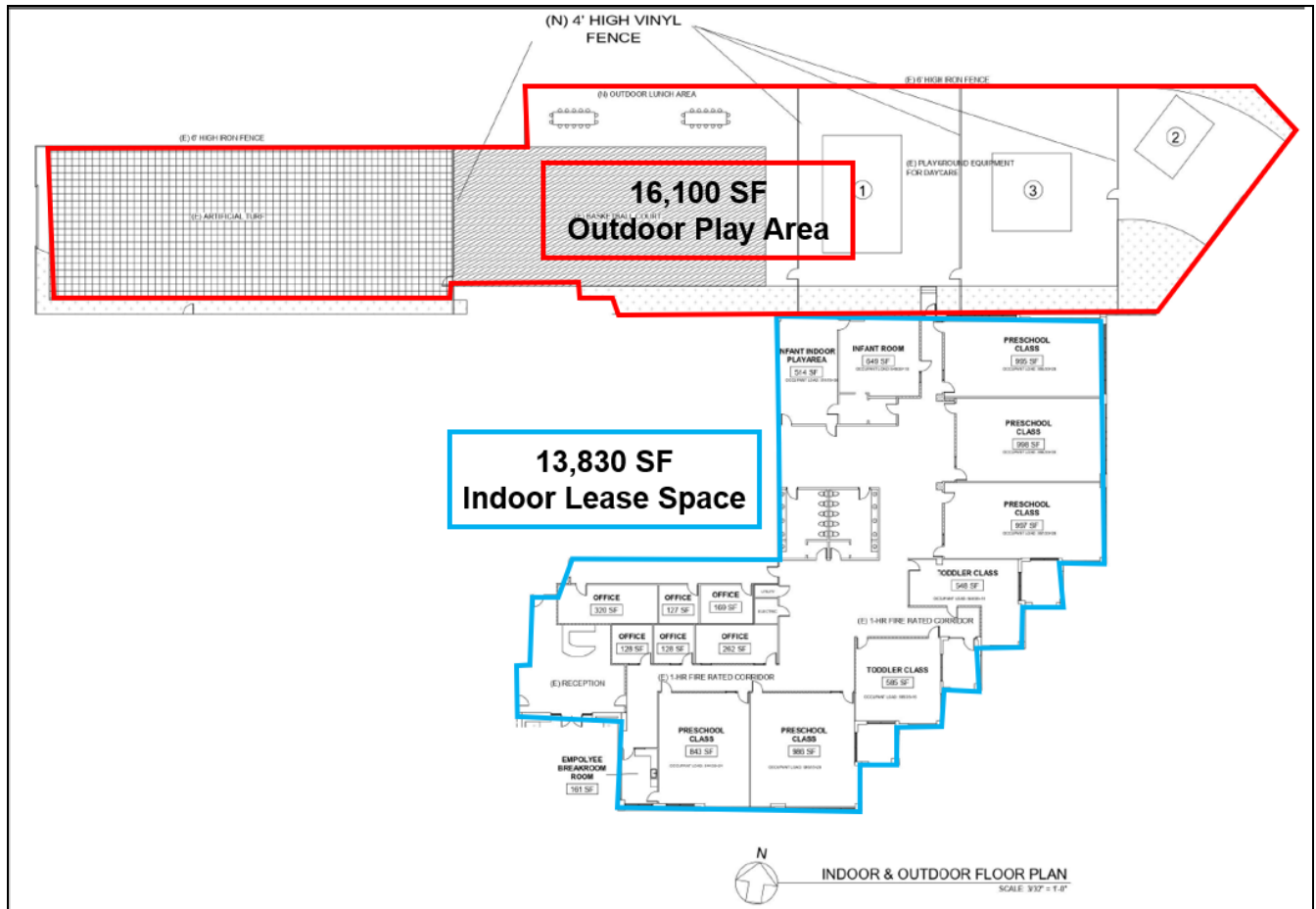
Adjacent Property to the South

Project Description

Kingdom Seed Academy is proposing to operate a 13,830 square-foot child day care center and occupy the remaining east portion of the vacant office building. Kingdom Seed Academy operates a similar day care center in the City of Walnut. At full capacity, the proposed facility would be able to accommodate up to 180 children (infants to 5 years old) and employ up to 20 staff members. The proposed floor plan divides the space into several areas, including five preschool classrooms, two toddler classrooms, infant room, infant indoor play area, six offices, employee break room, and toddler restrooms. The reception area located at the center of the building will be shared with the existing school. The outdoor play area located towards the rear of the property includes three pieces of playground equipment, a basketball court, and lunch area. An artificial turf area will be utilized by both the day care and school. In accordance with State requirements, playgrounds will be separated by a four-foot-high vinyl fence so that the day care children do not share play space with the school age children.

DBCC Section 22.42.040 requires a minimum of 75 square feet of outdoor play area per child. Kingdom Seed Academy's proposed enrollment of 180 children would therefore require at least 13,500 square feet of outdoor play area. At 16,100 square feet, the proposed outdoor recreational space exceeds this requirement.

The proposed business hours are 7 a.m. to 6 p.m., Monday through Friday (except holidays). Children will be dropped off between 7 a.m. to 10 a.m. and picked up between 4 p.m. to 6 p.m.



Proposed Indoor Floor Plan and Existing Outdoor Play Area

Review Authority (DBCC Section 22.58)

A CUP is required for uses whose effect on the surrounding area cannot be determined before being analyzed for suitability at a particular location.

When reviewing a CUP, consideration is given to the location, design, configuration, operational characteristics and potential impacts to determine whether or not the proposed use will pose a detriment to the public health, safety and welfare. If it can be found that the proposed use is likely to be compatible with its surroundings, the Commission may approve the proposed use subject to conditions stipulating the manner in which the use must be conducted. If the Commission finds that the proposed use is likely to be detrimental to the general peace, health and general welfare, then it must deny the request.

When a CUP is approved, it runs with the land and all conditions placed on the CUP are binding on all successors in interest. In other words, if the owner were to close the business, a new tenant could locate in the space and operate the same type of business. The new tenant would be required to comply with the same conditions as the

previous tenant and would not be permitted to expand the business without full review and approval by the Planning Commission.

Parking and Circulation

The minimum required number of parking spaces for child day care centers is one space for each 10 children, plus one space for each employee, plus one space for each vehicle used in conjunction with the use, plus a permanent drop-off area. Elementary school uses require three spaces for each classroom, plus one space for every 200 square feet of assembly area in an auditorium. The table below provides a summary of the parking requirements for the building.

The site provides 109 off-street parking spaces, including six ADA accessible spaces and eight spaces designated for drop-off. All parking and drop-off areas will be shared with the existing elementary school and the proposed child day care center. The minimum number of parking spaces required for the elementary school is 37 spaces. The addition of the child day care use requires at least 38 more spaces. The total off-street parking requirement for the building would thus be at least 75 spaces, which is satisfied by the number of parking spaces already provided.

City's Development Code Parking Requirement

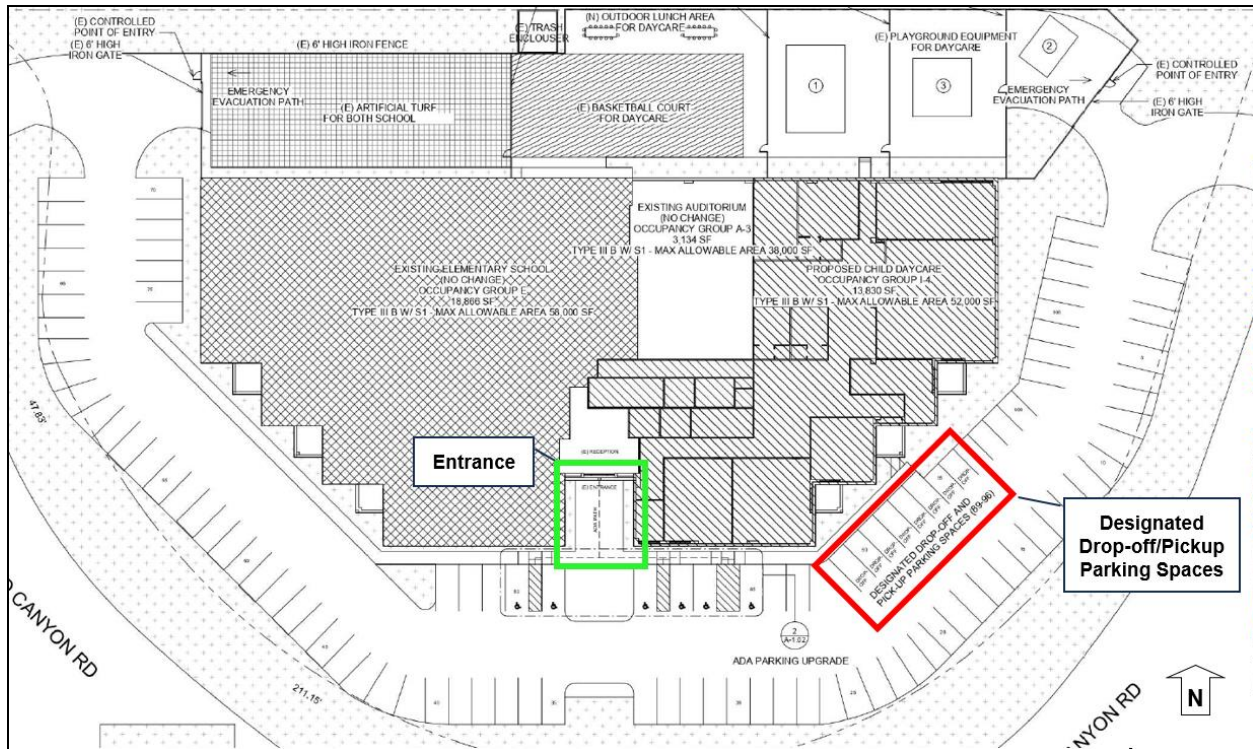
Use	Sq. Ft.	Parking Ratio	Parking Required	Parking Provided
Existing Elementary School	22,740	3 per classroom, plus 1 for every 200 SF of assembly area *(7 classrooms and 3,134 SF auditorium)	37	
Proposed Child Day Care Center	13,830	1 per 10 children, plus 1 space for each employee (180 children, 20 employees)	38	
Total	36,570		75	109

**Robotics, dance, music are all enrichment classes during the afternoon reserved for individual students only and are not full-time classrooms.*

Parking Demand

When reviewing parking impacts, various uses and peak operating hours for those uses are taken into consideration. 22,740 square feet of the building is currently occupied by an elementary school. Although the project complies with parking based on Development Code requirements, staff required a parking study to analyze the demand based on the existing and proposed uses on site due to the large number of students/children that could be enrolled at maximum capacity.

The applicant submitted a local transportation assessment signed by a licensed traffic engineer (Attachment C), which includes parking demand calculations and analysis.



Proposed Site Plan

The recommended direction of traffic flow consists of vehicles entering from the east driveway and exiting through the west driveway. The designated drop-off area is provided mainly for the child day care center. It is required that all children attending the day care center and school are escorted by an adult into the building for everyone's safety. The school provides for an arrival/departure policy through a parent handbook, which reminds parents of this policy. This is being enforced by the front desk staff.

Drop-off activities generally take place between 7 a.m. to 10 a.m. for the proposed child day care center. The traffic engineer estimates that drop-off activities will reach its peak from 8:30 a.m. to 9 a.m., and is estimated to account for 45 drop-off trips, equivalent to an average rate of 1.5 arrival trips per minute. With parents spending approximately five minutes on average to complete the drop-off, the estimated parking usage at this time is approximately eight spaces in the drop-off parking area ($45 \text{ children arrival} / 30 \text{ min} = 1.5 \text{ trips per minute} \times 5 \text{ minutes equals } 7.5 \text{ trips, rounded up to } 8 \text{ trips}$). The designated drop-off area provides eight spaces to adequately accommodate the drop-off demand.

The existing elementary school starts at 8:30 a.m. The traffic engineer estimates that drop-off activities reach their peak from 8:00 a.m. to 8:30 a.m., and are estimated to account for 90 drop-off trips, equivalent to an average rate of three arrival trips per minute. With parents spending approximately four minutes on average to complete the drop-off, the estimated parking usage at this time is approximately 12 spaces ($90 \text{ students arrival} / 30 \text{ min} = 3 \text{ trips per minute} \times 4 \text{ minutes equals } 12 \text{ trips}$).

Worst-Case Scenario Drop-Off Demand

Time Period	Elementary School Drop-Off ¹			Day Care Center Drop-Off			Combined	
	%	Trips ²	Peak Demand ³		Trips	Peak Demand	Trips	Peak Demand
7:00 AM - 7:30 AM	0%	0	0	10%	18	3	18	3
7:30 AM - 8:00 AM	20%	25	3	15%	27	5	65	8
8:00 AM - 8:30 AM	70%	90	12	20%	36	6	100	18
8:30 AM - 9:00 AM	10%	13	2	25%	45	8	71	10
9:00 AM - 9:30 AM	0%	0	0	20%	36	6	7	6
9:30 AM - 10:00 AM	0%	0	0	10%	18	3	4	3
	Total =	128	Max. 12	Total =	180	Max. 8		Max. 18

¹ Early drop-off after 7 AM is accepted for the convenience of working parents as a courtesy of this private school.

² Estimated average duration of drop-off parking: 4 minutes for Elementary School & 5 minutes for Day Care Center.

³ Peak Demand = (Average arrival rate per minute) x (Average Duration in minutes)

Source: Local Transportation Assessment prepared by K2 Traffic Engineering, Inc., dated November 5, 2024

Utilizing this methodology, the traffic engineer estimates that the worst-case scenario for drop-off demand for the existing elementary school and proposed child day care center is 18 spaces. Assuming both the school and child day care center are fully staffed with 20 employees, parking demand for the two uses is 40 spaces. With a combined parking demand of 58 spaces, the site provides sufficient parking with a surplus of 51 parking spaces under this scenario. The designated drop-off area and surplus of parking indicate that all vehicular activities will be sufficiently accommodated on site at full enrollment of both uses.

Parking Demand

Use	Sq. Ft.	Parking Ratio	Parking Required	Parking Provided
Existing Elementary School	22,740	20 staff members	20	
Proposed Child Day Care Center	13,830	20 staff members	20	
Peak Drop-Off Demand			18	
Total	36,570		58	109

It should be noted that these estimates may be conservative, as the analysis did not take carpooling into consideration. Some children carpool with their siblings or friends, thus reducing the number of overall trips.

Additionally, the proposed child day care center will allow flexible pick-up schedules to meet each parent's needs. Children are picked up on a staggered basis between noon and 6 p.m. Without a concentration in any specific time period, drop-off activities are expected to be accommodated within the provided area. Signage will be installed and the curb painted in green to demarcate that these stalls are reserved for 10-minute parking only.

However, once the day care center is in operation, and should traffic and/or parking issues arise, the Community Development Director, after providing the applicant a reasonable opportunity to mitigate the impact(s) to an acceptable level, may refer the matter back to the Planning Commission to consider amending or revoking the Conditional Use Permit to address such impacts (Condition of Approval #5). If the impacts are considered minor as determined by the Director, modifications required to mitigate the impact(s) may be reviewed administratively.

Compatibility with Neighborhood

The site is surrounded by single-family residences to the west, a hillside open space to the north, a church to the south and the 57 freeway to the east. A child day care use would provide services for nearby residents. Given the proposed hours of operation, the availability of parking, and types of adjoining uses, it is reasonable to conclude that the proposed child day care center will be compatible with the other uses in the neighborhood.

Community Meeting

On May 2, 2024, the applicant held a community meeting at the project site. Notices for those meetings were mailed to property owners within a 1,000-foot radius of the project site. There were two residents in attendance. Several concerns and comments were raised, which are listed below with responses provided in italics:

- Although it has lessened in the last few months, it was noisy from kids playing outdoors when the school first opened. Will there be noise issues again with the opening of the new child day care center?

Attachments D and E provides the complete schedules for the existing school and proposed child day care center. The table below lists the outdoor play times for both uses. Currently, there are no 3rd through 5th grade students enrolled at the school.

Outdoor Play Times

Time	School	Child Day Care Center
Morning	TK1 11:00 – 11:30 TK 2 11:00 – 11:30 Kindergarten 10:30 – 10:55 1 st grade 10:30 – 10:55 2 nd grade 10:00 – 10:30	Pre-K 9:00 – 9:30 Preschool (2 year) 10:20 – 10:40 Preschool (3 year) 10:30 – 11:00 Preschool (3 year) 9:30 – 10:20
Afternoon	TK1 2:20 – 2:55 TK2 2:20 – 2:55 Kindergarten 12:15 – 1:00 1 st grade 12:15 – 1:00 2 nd grade 12:15 – 1:00	Pre-K 3:30 – 4:00 Preschool 4:00 – 4:30 Preschool (3 year) 4:30 – 5:00 Preschool (3 year) 5:00 – 5:30

Staff worked with the applicant to modify the schedules of the existing school and proposed child day care center to stagger the outdoor play times to the extent feasible to alleviate potential noise generated by a large number of children playing outdoors at the same time. In addition, the California Department of Social Services (CDSS) requires school age children be separated from the day care children. Although there is a window of time from 10:00-10:55 where children from both uses will be outside, the playgrounds will be separated by a four-foot-high vinyl fence and the day care children will not be sharing playground space with the school age children during their own playtime, per State requirements. CDSS has reviewed the proposed outdoor play area layout and confirmed that this is acceptable for licensing standards.

- While driving up to the adjacent gated residential neighborhood, the existing landscaping creates visibility issues if vehicles are exiting the school site.

Immediately following the meeting, the applicant removed the palm tree adjacent to the west driveway which may have impacted visibility for drivers. The applicant plans to replant the area with Elijah blue fescue grass, which is low-growing and drought tolerant. Additionally, an “Exit Only” sign will guide drivers that are navigating through the site, which shall be installed prior to issuance of a final Certificate of Occupancy for the child day care center.



Landscaping Removed Adjacent to West Driveway

- There are general traffic, parking and access concerns, e.g. emergency access, employees parking on the street.

During the meeting, the applicant responded that all employees are required to park on site. Additionally, they have arranged an agreement with the church across the street to share parking should the need arise for any special events.

Staff required the applicant to submit a local transportation assessment signed by a licensed traffic engineer (Attachment C), to assess transportation effects upon project completion. The study showed that the project is expected to generate the following:

- 140 trips in the AM peak hour, including 74 inbound trips and 66 outbound trips
- 142 trips in the PM peak hour, including 67 inbound trips and 75 outbound trips
- 736 daily trips

Upon project completion, the study intersection at Diamond Canyon Road and Brea Canyon Cutoff Road is expected to operate at Level of Service (LOS) D or better. According to the "City of Diamond Bar Transportation Analysis Guidelines for Vehicle Miles Traveled and Level of Service Assessment," dated September 2020, the acceptable LOS for intersections in the city is D or better as established in the City's General Plan. Any intersection operating at a LOS E or F is considered deficient. The study also showed that at upon project completion, the east and west driveways at the project site along Diamond Canyon Road will continue to operate at LOS A. Therefore, the project is expected to have no or less than significant traffic impact. The assessment was reviewed and approved by the City's consultant traffic engineer.

The applicant submitted plans to the L.A. County Fire Department for their preliminary review. The Fire Department cleared the project for hearing and the applicant is required to obtain approval of their construction plans during plan check.

Additional Review

The Building and Safety Division, Public Works Department and L.A. County Fire Department reviewed this project and included their comments in the attached resolution as conditions of approval.

NOTICE OF PUBLIC HEARING:

On November 15, 2024, public hearing notices were mailed to property owners within a 1,000-foot radius of the project site. On November 15, 2024, the notice was published in the *San Gabriel Valley Tribune* newspaper; the project site was posted with a notice display board; and a copy of the public notice was posted at the City's designated community posting sites.

Public Comments Received

No comments have been received as of the publication date of this report.

ENVIRONMENTAL ASSESSMENT:

This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). Based on that assessment, the City has determined the project to be Categorically Exempt from the provisions of CEQA pursuant to the provisions of Article 19 Section 15301(a) (Interior alterations involving partitions and electrical conveyances) of the CEQA Guidelines. No further environmental review is required.

PREPARED BY:

Mayuko Nakajima

Mayuko Nakajima, Senior Planner

11/26/2024

REVIEWED BY:

Grace Lee

Grace Lee, Planning Manager

11/21/2024

Greg Gubman

Greg Gubman, Community Development Director

11/21/2024

Attachments:

- A. Draft Resolution No. 2024-XX, Standard Conditions of Approval
- B. Site Plan, Floor Plans, and Elevations
- C. Local Transportation Assessment prepared by K2 Traffic Engineering, Inc., dated November 5, 2024
- D. Day Care Schedule
- E. School Schedule

**PLANNING COMMISSION
RESOLUTION NO. 2024-XX**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DIAMOND BAR, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. PL2024-15 TO OPERATE A 13,830 SQUARE-FOOT CHILD DAY CARE CENTER WITHIN AN EXISTING BUILDING PREVIOUSLY OCCUPIED BY OFFICE USES LOCATED AT 3333 DIAMOND CANYON ROAD, DIAMOND BAR, CA (APN 8269-011-015).

A. RECITALS

1. Property owner, Omeda Investment, LLC, and applicant, Jason Chen for Kingdom Seed Academy, have filed an application for Conditional Use Permit No. PL2024-15 to operate a 13,830 square-foot child day care center at Kingdom Seed Academy, within an existing building previously occupied by office uses. The project site is more specifically described as 3333 S. Diamond Canyon Road, Los Angeles County, California. Hereinafter in this resolution, the subject Conditional Use Permit shall collectively be referred to as the “Project” or “Proposed Use.”
2. The Project Site is made up of one parcel totaling 3.37 acres. It is located in the Professional Office (OP) zone and is consistent with the Office land use designation of the General Plan.
3. The legal description of the subject property is Lot 1 of Tract No. 50415. The Assessor’s Parcel Number (APN) is 8269-011-0159.
4. On November 15, 2024, notification of the public hearing for this project was published in the *San Gabriel Valley Tribune* newspaper. On November 15, 2024, public hearing notices were mailed to property owners within a 1,000-foot radius of the Project site and posted at the City’s designated community posting sites.
5. On November 26, 2024, the Planning Commission of the City of Diamond Bar conducted a duly noticed public hearing, solicited testimony from all interested individuals, and concluded said hearing on that date.

B. RESOLUTION

NOW, THEREFORE, it is found, determined and resolved by the Planning Commission of the City of Diamond Bar as follows:

1. The Planning Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct.
2. The Planning Commission hereby determines the Project to be Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to the provisions of Article 19, Section 15301(a) (Interior alterations involving partitions and electrical conveyances) of the CEQA Guidelines. Therefore, no further environmental review is required.

C. FINDINGS OF FACT

Based on the findings and conclusions set forth herein and as prescribed under Diamond Bar City Code (DBCC) Section 22.58, the Planning Commission hereby finds and approves as follows:

Conditional Use Permit Review Findings (DBCC Section 22.58)

1. *The Proposed Use is allowed within the subject zoning district with the approval of a conditional use permit and complies with all other applicable provisions of this Development Code and the City Code.*

Pursuant to DBCC Section 22.10.030, Table 2-6, child day care centers are permitted in the OP zoning district with approval of a conditional use permit. The Proposed Use will be located within an existing building that is also occupied by a private elementary school. Through compliance with the conditions of approval stipulating the manner in which the use must be conducted, the Proposed Use will be compatible with neighboring uses within the building and surrounding neighborhood.

2. *The Proposed Use is consistent with the general plan and any applicable specific plan.*

The Proposed Use is consistent with General Plan Goal ED-G-3: ("Support the retention, rehabilitation, and/or expansion of existing businesses, and the attraction of new businesses") in that the Proposed Use is a new business locating within an existing building that is underutilized.

The Project site is not subject to the provisions of any specific plan.

3. *The design, location, size and operating characteristics of the Proposed Use are compatible with the existing and future land uses in the vicinity.*

The Proposed Use will occupy a 13,830 square-foot vacant tenant space within a 36,570 square-foot office building. The remaining portion of the building is occupied by a private elementary school, which have similar operational characteristics. The Proposed Use complies with the City's Development Code parking requirements, and the parking demand generated by the Proposed Use is not likely to exceed the number of on-premise parking spaces available to serve the Proposed Use at any given time. The Proposed Use will operate from 7 a.m. to 6 p.m., Monday through Friday.

The site is surrounded by single-family residences to the west, hillside open space to the north, a church to the south and the 57 freeway to the east. A child day care use would provide services for nearby residents.

Given the proposed hours of operation, the availability of parking, and types of adjoining uses, it is reasonable to conclude that the Proposed Use will be compatible with the other uses within the building and surrounding neighborhood which are single-family residences and church.

4. *The subject site is physically suitable for the type and density/intensity of use being proposed, including access, provision of utilities, compatibility with adjoining land uses, and the absence of physical constraints.*

The Proposed Use is physically suitable within the subject site because it will be located in an existing vacant tenant space within an existing office building, and no additional square footage is being proposed. In addition, the Proposed Use will be using existing access and parking. The site provides 109 on-site parking spaces which will be shared by both uses. The minimum number of parking spaces required for the existing elementary school is 37 spaces. The parking requirement for the Proposed Use is 38 spaces. The total off-street parking requirement for the building would thus be at least 75 spaces, which is satisfied by the number of parking spaces already provided. The traffic engineer estimates that the worst-case scenario for drop-off demand for the existing school and proposed child day care center is 18 spaces. Assuming both the school and child day care center are fully staffed with 20 employees, parking demand for the two uses is 40 spaces. With a combined parking demand of 58 spaces, the site provides sufficient parking with a surplus of 51 parking spaces under this scenario.

Therefore, the existing parking supply would accommodate existing use and the Proposed Use, and the designated drop-off area and surplus of parking spaces indicate that all vehicular activities will be sufficiently accommodated on site at full enrollment of both uses. The Proposed Use is physically suitable at the subject site.

5. *Granting the conditional use permit will not be detrimental to the public interest, health, safety, convenience, or welfare, or injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located.*

Prior to the issuance of any city permits, the Project is required to comply with all conditions of approval within the attached resolution, Building and Safety Division, and L.A. County Fire Department.

6. *The proposed Project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA).*

The proposed use is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as set forth under Article 19 Section 15301(a) (Interior alterations involving partitions and electrical conveyances) of the CEQA Guidelines.

D. CONDITIONS OF APPROVAL

Based upon the findings and conclusion set forth above, the Planning Commission hereby approves Conditional Use Permit No. PL2024-15, subject to the following conditions:

1. This approval is for the operation of a 13,830 square-foot child day care center at Kingdom Seed Academy, within an existing building previously occupied by office uses, as described in the application on file with the Planning Division, the Planning Commission staff report for Conditional Use Permit No. PL2024-15 dated November 12, 2024, and the Planning Commission minutes pertaining thereto, hereafter referred to as the "Use."
2. The Use shall substantially conform to the approved plans as submitted and approved by the Planning Commission and on file with the Community Development Department.
3. This Conditional Use Permit shall be valid only for 3333 S. Diamond Canyon Road, as depicted on the approved plans on file with the Planning Division. Prior to relocating or expanding the Use into other tenant spaces, the applicant shall first apply for and receive approval of an amended Conditional Use Permit.
4. If, at any time, the City finds that the Use is the cause of a parking deficiency, noise nuisance, or other land use impact, within or beyond the subject property boundaries, the Community Development Director, after providing the entitlement holder a reasonable opportunity to mitigate the impact(s) to an acceptable level, may refer the matter back to the Planning Commission to consider amending or revoking this Conditional Use Permit to address such impacts. If the impacts are considered minor as determined by the Community Development Director, modifications required to mitigate the impact(s) may be reviewed administratively.
5. No changes to the approved scope of services comprising the Use shall be permitted unless the applicant first applies for an amendment to this Conditional Use Permit, pays all application processing fees and receives approval from the Planning Commission, except that the Community Development Director may administratively approve minor modifications to the use if it is determined.
6. Prior to issuance of a final Certificate of Occupancy, an "Exit Only" sign and landscaping shall be installed per the approved plans at the west driveway to guide drivers that are navigating through the site.
7. Prior to issuance of a final Certificate of Occupancy for the child day care center, the existing school shall obtain and finalize building permits for the change of use from office to school.

The Planning Commission shall:

- (a) Certify to the adoption of this Resolution; and
- (b) Forthwith transmit a certified copy of this Resolution, by certified mail to the property owner, Omeda Investment, LLC, 2259 Celano Ct, Chino Hills, CA 91709; and applicant, Jason Chen for Kingdom Seed Academy, 3333 S. Diamond Canyon Road, Diamond Bar, CA 91765.

APPROVED AND ADOPTED THIS 26TH DAY OF NOVEMBER, 2024, BY THE PLANNING COMMISSION OF THE CITY OF DIAMOND BAR.

By: _____
Ruben Torres, Chairperson

I, Greg Gubman, Planning Commission Secretary, do hereby certify that the foregoing Resolution was duly introduced, passed, and adopted, at a regular meeting of the Planning Commission held on the 26th day of November, 2024, by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

ATTEST: _____
Greg Gubman, Secretary



COMMUNITY DEVELOPMENT DEPARTMENT

STANDARD CONDITIONS

USE PERMITS, COMMERCIAL AND RESIDENTIAL NEW AND REMODELED STRUCTURES

PROJECT #: Conditional Use Permit No. PL2024-15

SUBJECT: To operate a 13,830 square-foot child day care center within an existing office building previously occupied by office uses

PROPERTY OWNER(S): Omeda Investment, LLC
2259 Celano Ct
Chino Hills, CA 91709

APPLICANT: Jason Chen for Kingdom Seed Academy
3333 S. Diamond Canyon Road
Diamond Bar, CA 91765

LOCATION: 3333 S. Diamond Canyon Road
Diamond Bar, CA 91765

ALL OF THE FOLLOWING CONDITIONS APPLY TO YOUR PROJECT.

APPLICANT SHALL CONTACT THE PLANNING DIVISION AT (909) 839-7030, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

A. GENERAL REQUIREMENTS

1. The applicant shall defend, indemnify, and hold harmless the City, and its officers, agents and employees, from any claim, action, or proceeding to attack, set-aside, void, or annul the approval of Conditional Use Permit No. PL2024-15 brought within the time period provided by Government Code Section 66499.37. In the event the city and/or its officers, agents and employees are made a party of any such action:

- (a) Applicant shall provide a defense to the City defendants or at the City's option reimburse the City its costs of defense, including reasonable attorney fees, incurred in defense of such claims.
 - (b) Applicant shall promptly pay any final judgment rendered against the City defendants. The City shall promptly notify the applicant of any claim, action of proceeding, and shall cooperate fully in the defense thereof.
- 2. This approval shall not be effective for any purpose until:
 - (a) The applicant and property owner have each filed with the Community Development Department an affidavit stating that they are aware of and agree to accept all of the conditions of approval contained herein; and
 - (b) All remaining application processing fees have been paid in full.
- 3. The business owners and all designers, architects, engineers, and contractors associated with this project shall obtain a Diamond Bar Business License for those businesses located in Diamond Bar.
- 4. The project site shall be maintained and operated in full compliance with the conditions of approval and all laws, or other applicable regulations.
- 5. Approval of this request shall not waive compliance with all sections of the Development Code, all other applicable City Ordinances, and any applicable Specific Plan in effect at the time of building permit issuance.
- 6. To ensure compliance with all conditions of approval and applicable codes, the Conditional Use Permit shall be subject to periodic review. If non-compliance with conditions of approval occurs, the Planning Commission may review the Conditional Use Permit. The Commission may revoke or modify the Conditional Use Permit.
- 7. Property owner/applicant shall remove the public hearing notice board within three (3) days of this project's approval.
- 8. The applicant shall comply with the requirements of City Planning, Building and Safety Divisions, Public Works Department, and the Fire Department.

B. FEES/DEPOSITS

- 1. Applicant shall pay development fees (including but not limited to Planning, Building and Safety Divisions, and Public Works Department) at the established rates, prior to issuance of building permits, as required by the City. School fees as required shall be paid prior to the issuance of building permit. In addition, the applicant shall pay all remaining prorated City project review and processing fees prior to issuance of grading or building permit, whichever comes first.

2. Prior to any plan check, all deposit accounts for the processing of this project shall have no deficits.

C. TIME LIMITS

1. The approval of Conditional Use Permit No. PL2024-15 shall expire within one (1) year from the date of approval if the use has not been exercised as defined pursuant to DBCC Section 22.66.050 (b)(1). The applicant may request in writing a one-year time extension subject to DBCC Section 22.60.050(c) for Planning Commission review and approval.

APPLICANT SHALL CONTACT THE BUILDING AND SAFETY DIVISION, (909) 839-7020, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

General Conditions:

1. Plans and construction shall conform to current State and Local Building Code (i.e. 2022 California Building Code series will apply) requirements and all other applicable construction codes, ordinances and regulations in effect at the time of permit issuance.
2. Implementation of the CAL Green Code shall be reflected on the plans, and certification shall be by a third party as required by the Building Division. Specific water, waste, low VOC, and related conservation measures shall be shown on plans. Construction shall conform to the current CAL Green Code.
3. A basic building analysis for the entire facility (including the existing classroom areas) is required and to be designed by a licensed architect.

Plan Check – Items to be addressed prior to plan approval:

4. This project shall comply with the energy conservation requirements of the State of California Energy Commission. All lighting shall be high efficacy or equivalent per the current California Energy Code 119 and 150(k).
5. Indoor air quality shall be provided consistent with ASHRAE 62.2 as required per California Energy Code 150(o).
6. Public Works/Engineering Department is required to review and approve grading plans that clearly show all finish elevations, drainage, and retaining wall(s) locations. These plans shall be consistent with the site plan submitted to the Building & Safety Division.
7. An exit analysis shall be provided during plan check, showing occupant load for each space, exit width, exit signs, etc. The exit analysis will be provided for the entire facility including the existing classroom areas.
8. Number of plumbing fixtures shall be in compliance with CPC T-422.

9. This project shall comply with the energy conservation requirements of the State of California Energy Commission. All lighting shall be high efficacy or equivalent per the current California Energy Code 140.6 to 140.9.
10. Indicate the proposed addition and existing building on the plans. Submit code analysis and justification showing the following:
 - a. Each building square footage
 - b. Each building height
 - c. Type of construction
 - d. Sprinkler system
 - e. Each group occupancy
 - f. Property line location in relation to each building (side yard)
 - g. Exit analysis for each building (occupant load/corridor rating/exit width/exit signs, etc.)
 - h. Accessibility analysis for the entire site and for each building
 - i. Shaft rating/ exterior wall construction/ opening protection
11. Plans shall reflect adequate exit requirements. The distance between required exits shall be $\frac{1}{2}$ of the overall building diagonal dimension.
12. Fire Department approval shall be required. Contact the Fire Department for plan check requirements.
13. Design for future electric vehicle charging shall be provided consistent with CAL Green 4.106.4 or 5.106.5.3.
14. The existing school facility shall be designed as part of the overall permit and not excluded from the tenant improvement.
15. The design for a school and day care tenant improvement and existing areas shall be designed by a licensed architect for all Building Code requirements.
16. An occupancy separation needs to be provided to adjacent uses per CBC Table 508.4. Fire rated assemblies are required between the different uses.
17. An allowable area analysis shall be completed due to the higher use per CBC Table 506.2. Analyze for I-4, A-3, and E occupancy in the allowable area analysis.
18. Each room shall be designed for a one-hour rated corridor or have a door directly to the outside or one-hour rated corridor per CBC 436.1.1.
19. Two exits are required for all larger classrooms 1000 square feet or greater per CBC 1006.2.2.8 and 436.1.1.

Permit – Items required prior to building permit issuance:

20. Solid waste management of construction material shall incorporate recycling material collection per Diamond Bar City Code 8.16 of Title 8. The contractor shall complete all required forms and pay applicable deposits prior to permit.
21. AQMD notification is required at least 10 days prior to any demolition. Proof of notification is required at permit issuance.
22. All workers on the job shall be covered by workers' compensation insurance under a licensed general contractor. Any changes to the contractor shall be updated on the building permit.

Construction – Conditions required during construction:

23. Occupancy of the facilities shall not commence until all California Building Code and State Fire Marshal regulations have been met. The buildings shall be inspected for compliance prior to occupancy.
24. Every permit issued by the Building Official under the provisions of this Code shall expire and become null and void unless the work authorized by such permit is commenced within one year after permit issuance, and if a successful inspection has not been obtained from the Building Official within one-hundred-eighty (180) days from the date of permit issuance or the last successful inspection. A successful inspection shall mean a documented passed inspection by the City building inspector as outlined in Section 110.6.
25. All structures and property shall be maintained in a safe and clean manner during construction. The property shall be free of debris, trash, and weeds.
26. Existing fencing shall remain in-place during construction including pool barrier fencing. Any alteration of the fencing may result in a discontinuation of construction until the fences are returned to its original state.
27. All equipment staging areas shall be maintained in an orderly manner and screened behind a minimum 6' high fence.
28. The project shall be protected by a construction fence to the satisfaction of the Building Official, and shall comply with the NPDES & BMP requirements (sand bags, etc.). All fencing shall be view obstructing with opaque surfaces.
29. The applicant shall contact Dig Alert and have underground utility locations marked by the utility companies prior to any excavation. Contact Dig Alert by dialing 811 or their website at www.digalert.org.
30. The applicant shall first request and secure approval from the City for any changes or deviations from approved plans prior to proceeding with any work in accordance with such changes or deviations.

31. All glazing in hazardous locations shall be labeled as safety glass. The labeling shall be visible for inspection.
32. All plumbing fixtures, including those in existing areas, shall be low-flow models consistent with California Civil Code Section 1101.1 to 1101.8.

END

3333 S DIAMOND CANYON RD, DIAMOND BAR, CA 91765

EZ DESIGN
ARCHITECTURAL DESIGN STUDIO
EZ DESIGN STUDIO LLC.
1409 SAN CARLOS RD,
ARCADIA, CA 91006
(626)673-5686

PROJECT
CUP CHANGE USED

ADDRESS
3333 S DIAMOND CANYON
RD DIAMOND BAR

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STAMP



REVISIONS

Date	No.	Description
06.08.24	1	CUP

DRAWING TITLE

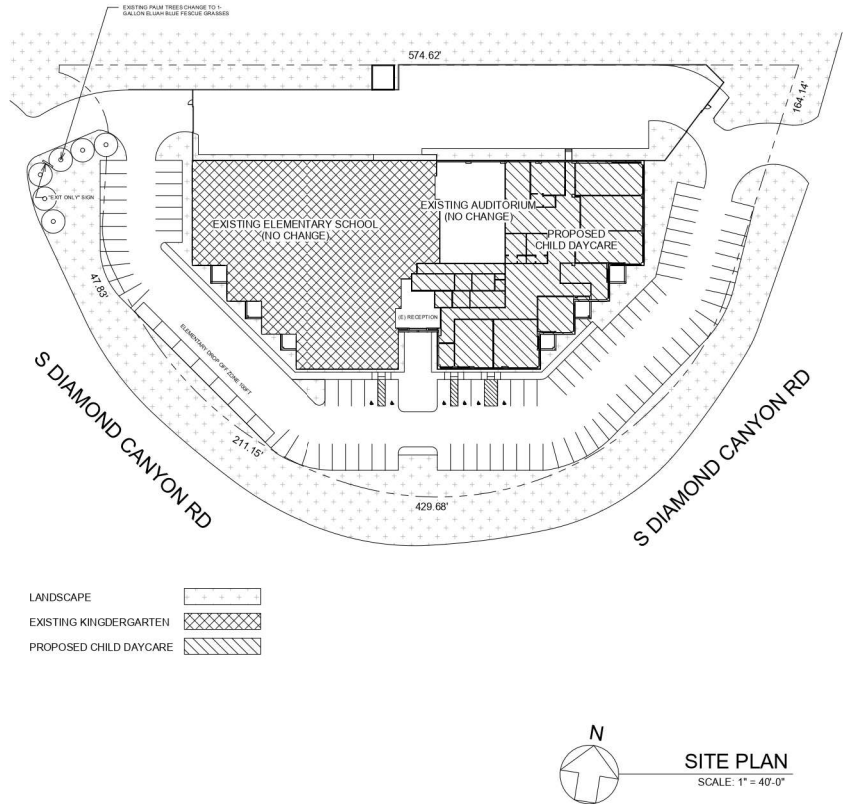
TITLE SHEET

Drawn By: EC
Scale: 1" = 40'-0"
Date: 07/24/23

DRAWING NO.
A-1.01

PROJECT INFORMATION		SCOPE OF WORK	FLOOR AREA BREAKDOWN																													
PROJECT ADDRESS: 3333 S DIAMOND CANYON RD, DIAMOND BAR, CA 91765 LEGAL DESCRIPTION: TRACT NO 55415 LOT 1 PARCEL#: 8269-011-015 LOT SIZE: 3.37 ACRES ZONE: LCR18000-R12000 FIRE SPRINKLER: N/A CONSTRUCTION TYPE: III-B		CONDITION USED PERMIT. A NEW CHILD DAY CARE CENTER IS BEING PROPOSED.	<table><tr><th></th><th>EXISTING/NEW</th><th>FLOOR AREA (SQ. FT.)</th><th>OCCUPANCY GROUP</th><th>ALLOWABLE AREA</th></tr><tr><td>CHILD DAYCARE</td><td>NEW</td><td>13,600</td><td>I-4</td><td>52,000 SF</td></tr><tr><td>ELEMENTARY</td><td>EXISTING</td><td>18,866</td><td>E</td><td>58,000 SF</td></tr><tr><td>RECEPTION</td><td>EXISTING</td><td>740</td><td>E</td><td>58,000 SF</td></tr><tr><td>AUDITORIUM</td><td>EXISTING</td><td>3,131</td><td>A-3</td><td>38,000 SF</td></tr></table>						EXISTING/NEW	FLOOR AREA (SQ. FT.)	OCCUPANCY GROUP	ALLOWABLE AREA	CHILD DAYCARE	NEW	13,600	I-4	52,000 SF	ELEMENTARY	EXISTING	18,866	E	58,000 SF	RECEPTION	EXISTING	740	E	58,000 SF	AUDITORIUM	EXISTING	3,131	A-3	38,000 SF
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OWNER INFORMATION:		CODE COMPLIANCE																														
TENANT: KINGDOM SEED ACADEMY ADDRESS: 3333 S DIAMOND CANYON RD, DIAMOND BAR, CA 91765 PHONE NUMBER: (909)622-7333 OWNER: OMEGA INVESTMENT LLC ADDRESS: 2259 CLELAND COURT CHINO HILLS CA 91709 PHONE NUMBER: (909)639-4385		BUILDING CODE: CODE 2022 CBC, CBCA, CBC, CEC, CPC, CM, CRCT, 24 ENERGY & LOCAL CODE																														
		CONSULTANT INFORMATION	VICINITY MAP																													
		ARCHITECT: SHYH HAW WU 10405 LOWER AZUSA BLVD. EL MONTE, CA 91731 (626)673-5686 STRUCTURAL: - CILVIL: - MEP: -																														
SHEET INFORMATION		GENERAL NOTES	GRAPHIC SYMBOL																													
Sheet List		1. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND AND SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS AND BE MINIMUM OF 4" HEIGHT WITH A MINIMUM STROKE OF 1/2" (3/16"). 2. AT TIME OF PERMIT ISSUANCE, CONTRACTOR SHALL SHOW THEIR VALID WORKERS' COMPENSATION INSURANCE CERTIFICATE. ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION. 3. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE/ROADWAYS MUST BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RUNWATER AND DISPOSAL BY WIND, RAILS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM. 4. SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THE PUBLIC WAY.			(E) = EXISTING (N) = NEW DETAIL NO. DWG NO. SECTION REFERENCE (SHOWN ON PLAN) SECTION NO. DWG NO. KEYNOTE DOOR SYMBOL DOOR NUMBER WINDOW SYMBOL WINDOW NUMBER REVISION MARK REVISION NO.																											
Sheet Number	Sheet Name																															
A-1.01	TITLE SHEET																															
A-1.02	PROPOSED SITE PLAN																															
A-1.03	FIRE HYDRANTS LOCATION																															
A-1.04	PROPOSED BUILDING FLOOR PLAN																															
A-2.01	INDOOR & OUTDOOR FLOOR PLAN																															
A-2.02	PROPOSED FLOOR PLAN																															
A-2.03	EXIT PLAN																															
A-3.01	EXISTING ELEVATION																															

NOTE:
1. Child day care centers shall comply with all applicable standards established by the State Fire Marshal, including, without limitation, standards for such facilities to contain fire extinguishers, smoke detector devices, carbon monoxide detectors, and required exits [DBCC Section 22.42.040 (2)(b)].
2. The facility shall be in full compliance with Chapter 22.28 (noise control) for the subject zoning district [DBCC Section 22.42.040 (2)(c)].
3. Prior to issuance of a Certificate of Occupancy, resurface and restripe the parking lot. Parking areas shall be kept and maintained so as not to detract from the appearance of adjacent properties and to protect the health, safety and welfare of the user, occupant and general public. Areas shall be kept in a neat and clean condition, free of trash, debris or rubbish, and free of potholes, sinkholes, standing water, cracks and/or broken areas. Parking space and pavement striping and signs shall be repainted, refurbished and/or replaced when they become faded, damaged or destroyed to an extent that they are no longer effective. Parking areas shall be periodically resurfaced or sealed to minimize seepage of water into the ground below [DBCC Section 22.34.050 (g)].
4. Prior to issuance of a Certificate of Occupancy, the permanent drop-off parking spaces shall be delineated with striping and/or signage.



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RD DIAMOND BAR

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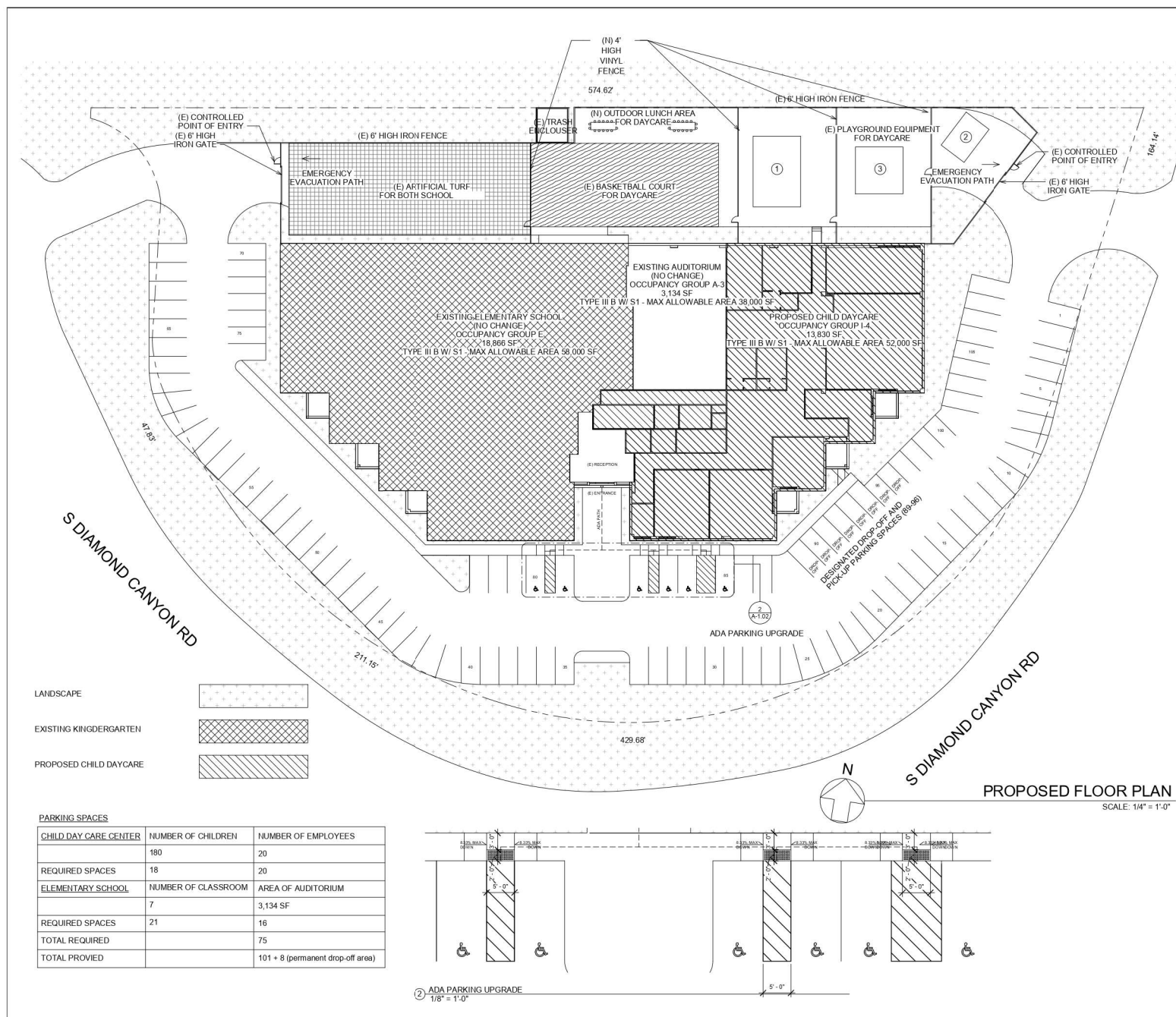
Date	No.	Description
06.08.24	1	CUP

PROPOSED SITE PLAN

Drawn By: Author
Scale: As indicated
Date: 04/17/24

DRAWING NO.

A-1.02



OUTDOOR PLAY AREA
REQUIRED: DAYCARE
180 CHILDREN X 75 = 13,500 SF
TOTAL REQUIRED: 13,500 SF

PROVIDED:	16,100 SF
-----------	-----------



1 PLAY STRUCTURE



2 PLAY STRUCTURE



EZ DESIGN

ARCHITECTURAL DESIGN STUDIO

EZ DESIGN STUDIO LLC.

1409 SAN CARLOS RD.
ARCADIA, CA 91006

(626)673-5686

PROJECT

CUP CHANGE USED

ADDRESS3333 S DIAMOND CANYON
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STAMP**REVISIONS**

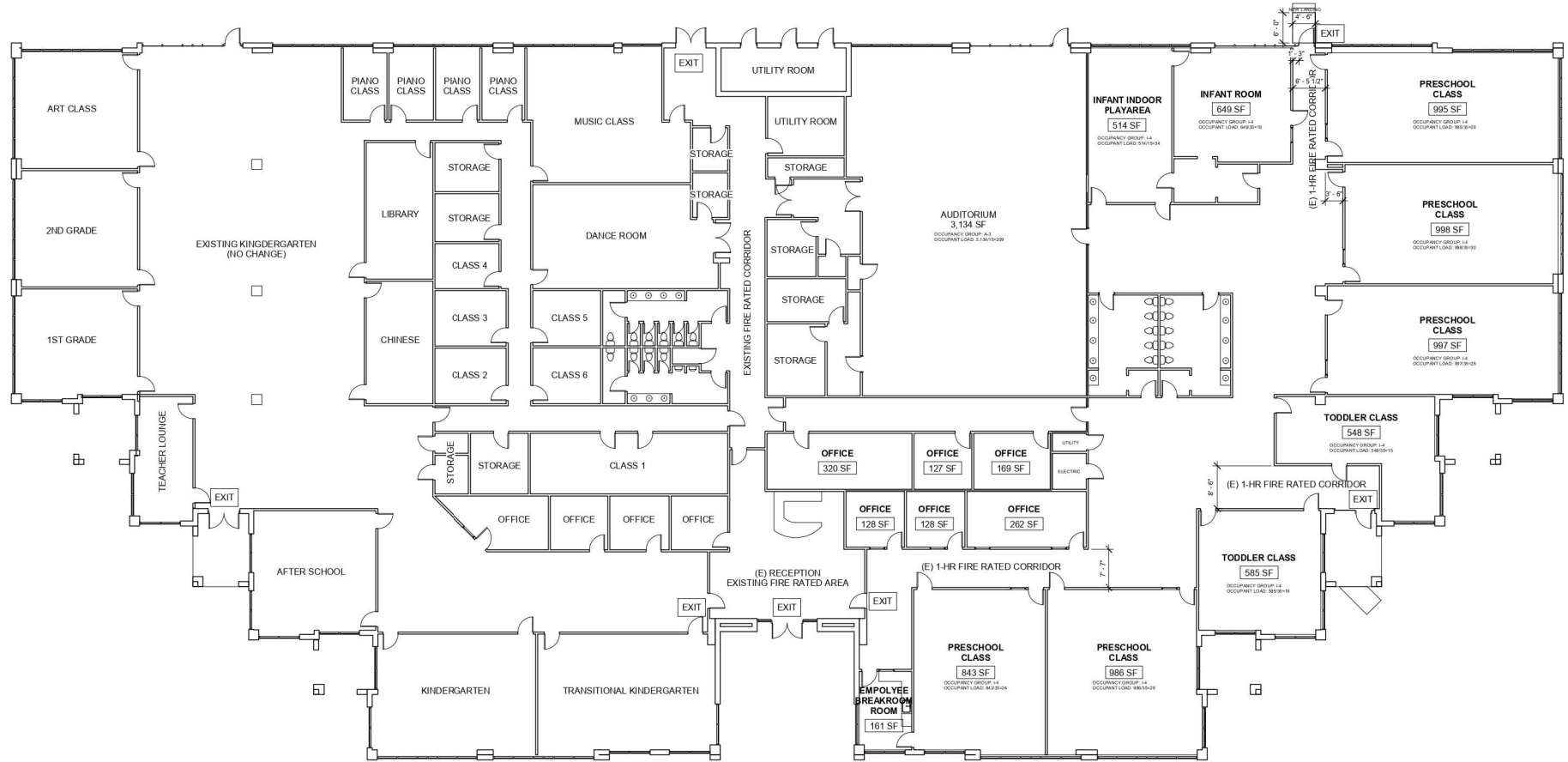
Date	No.	Description
06.08.24	1	CUP

DRAWING TITLEPROPOSED BUILDING
FLOOR PLAN

Drawn By: Author

Scale: 1" = 10'-0"

Date: 06/12/24

DRAWING NO.**A-1.04****PROPOSED BUILDING FLOOR PLAN**

SCALE: 1" = 10'-0"

CUP CHANGE USED

3333 S DIAMOND CANYON
RD DIAMOND BAR

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[illegible]

INDOOR & OUTDOOR FLOOR PLAN

Date: 07/24/23

A-2.01



LOCAL TRANSPORTATION ASSESSMENT

Child Daycare Center at Kingdom Seed Academy
3333 S. Diamond Canyon Road
In the City of Diamond Bar

Date: November 5, 2024

Prepared For:

Kingdom Seed Academy

3333 S. Diamond Canyon Road

Diamond Bar, CA 91765

Prepared By:

K2 Traffic Engineering, Inc.

1442 Irvine Blvd, Suite 210

Tustin, CA 92780

(714) 832-2116

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Child Daycare Center at Kingdom Seed Academy
3333 S. Diamond Canyon Road, Diamond Bar

November 5, 2024
Local Transportation Assessment

Local Transportation Assessment

Child Daycare Center at Kingdom Seed Academy

3333 S. Diamond Canyon Road in the City of Diamond Bar



Prepared under the supervision of

A handwritten signature in black ink, appearing to read "Jende Kay Hsu", written over a horizontal line.

Jende Kay Hsu, P.E., T. E.

Lic. # T2285

EXECUTIVE SUMMARY

Kingdom Seed Academy is an existing elementary school (TK-5) located at 3333 S. Diamond Canyon Road in the City of Diamond Bar. The academy is seeking city's approval to operate a new child daycare center in the vacant space of the same building. The proposed child daycare center will consist of 13,830 sq. ft. to accommodate up to 180 children aged 0 to 5 and employ up to 20 staff. Hours of operation are Monday through Friday from 7:00 AM to 6:00 PM. The purpose of this assessment is to evaluate the traffic and parking impacts of the proposed child daycare center.

The project is expected to generate 140 trips in the AM peak hour, including 74 inbound trips and 66 outbound trips, 142 trips in the PM peak hour, including 67 inbound trips and 75 outbound trips, and 736 daily trips. Upon project completion, the study intersection is expected to operate at acceptable LOS D or better. The project is expected to have no or less than significant traffic impact.

Upon project completion, the site will provide a total of 109 parking spaces, including six (6) ADA accessible spaces and 8 spaces in the designated drop-off area. The parking demand for the proposed child day care center and the existing elementary school are 46 and 37 spaces, respectively. With a combined parking demand of 83 spaces, the site has provided sufficient parking with a redundancy of 26 parking spaces. The recommended direction of traffic flow consists of vehicles entering from the east driveway and exiting through the west driveway.

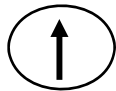
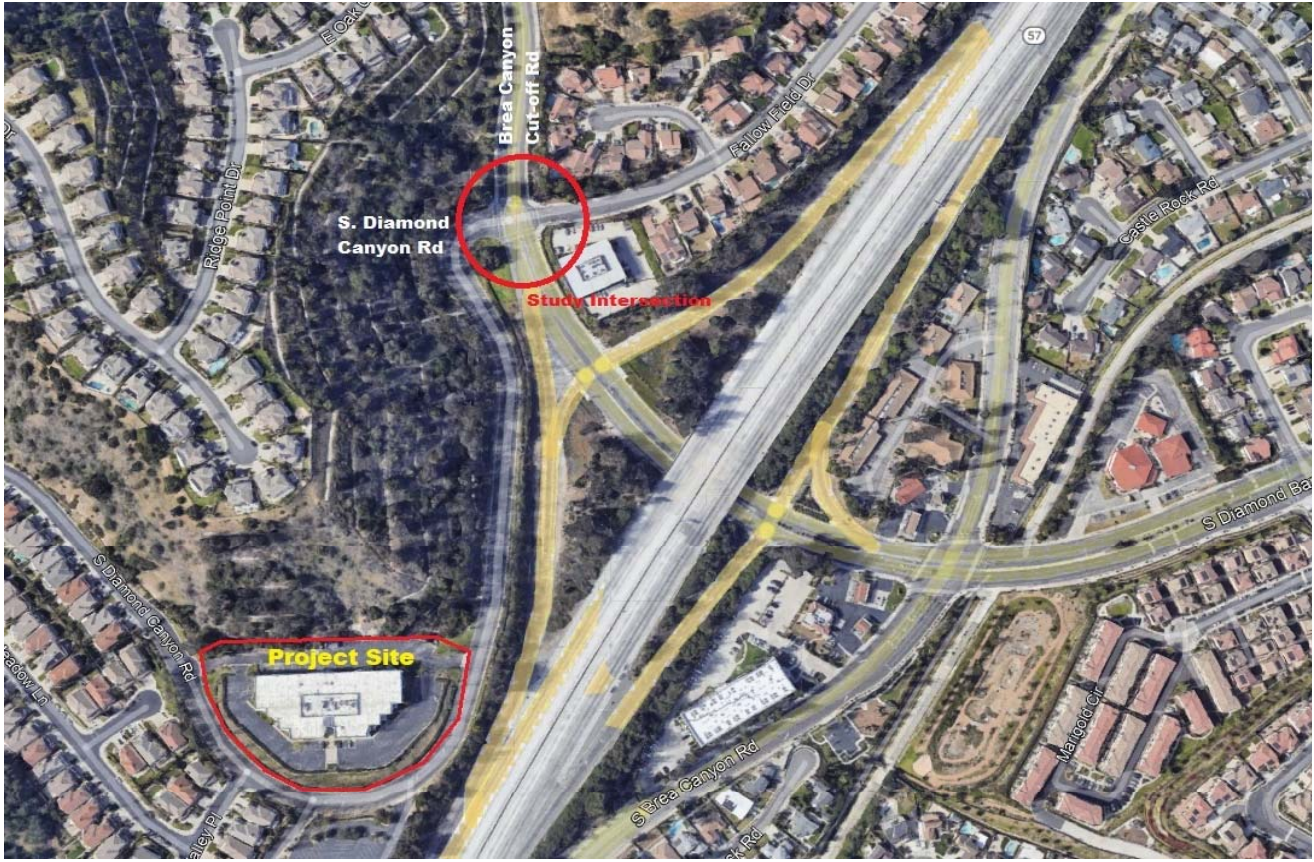
Based on the actual enrollment of the elementary school and day care center, the drop-off schedule will be staggered and coordinated between all classes. For children's safety and comfort, all children must be escorted into the building by an adult and not dropped off at any other place outside the school. Parents can use any available parking space in the parking lot that is shared by the elementary school and child daycare center.

For the convenience of parents dropping off young toddlers and infants, a designated loading area is provided in front of the day care center entrance. This loading area provides eight (8) spaces to match the anticipated demand of the day care center. Nonetheless, any excessive demand would be adequately accommodated since the site has a high parking redundancy with no overflow even at full enrollment. "10 MIN PARKING" signage will be installed for the designated loading area, and the curb will be painted in green with white letters of "10 MIN PARKING".

Day Care Center is listed in the City's VMT Guidelines as a local serving project type that can be presumed to have a less than significant impact. Therefore, a full project-level VMT analysis is not required.

INTRODUCTION

Kingdom Seed Academy is an existing elementary school (TK-5) located at 3333 S. Diamond Canyon Road in the City of Diamond Bar. The academy is seeking city's approval to operate a new child daycare center in the vacant space of the same building. The proposed child daycare center will consist of 13,830 sq. ft. to accommodate up to 180 children aged 0 to 5 and employ up to 20 staff. Hours of operation are Monday through Friday from 7:00 AM to 6:00 PM. The purpose of this assessment is to evaluate the traffic impact of the proposed child daycare center. The vicinity map is shown in **Exhibit 1**. Site plan is provided in **Exhibit 2**.



NORTH
NOT TO SCALE

EXHIBIT 1. Vicinity Map

No Scale

STUDY SCENARIOS

In compliance with the City of Diamond Bar Transportation Study Guidelines for Vehicle Miles Traveled and Level of Service Assessment, dated September 2020, the following scenarios are included in this assessment:

- i. Existing Conditions
- ii. Opening Year (2025) without Project
- iii. Opening Year (2025) plus Project

The study has performed Level of Service (LOS) analysis to evaluate potential traffic impacts for the intersection of Brea Canyon Cut-off Road and S. Diamond Canyon Road, and two project driveways on S. Diamond Canyon Road. LOS analysis is performed using SYNCHRO 6 software based on the methodologies prescribed in the Highway Capacity Manual (HCM). For signalized intersections the average control delay per vehicle is estimated for each lane group and aggregated for each approach and for the intersection as a whole. For stop-controlled project driveways, the average control delay per vehicle is estimated for the minor approach (project driveway).

EXISTING CONDITIONS

Brea Canyon Cut-off Road is an undivided roadway with two lanes in each direction. Brea Canyon Cut-off Road is classified as “Secondary Arterial” in the project vicinity. The speed limits are 40 mph. The intersection of Brea Canyon Cut-off Road and S. Diamond Canyon Road/Fallow Field Drive is controlled by traffic signals.

S. Diamond Canyon Road is a local street with one lane in each direction and a left-turn lane at the intersection. The posted speed limit is 35 mph.

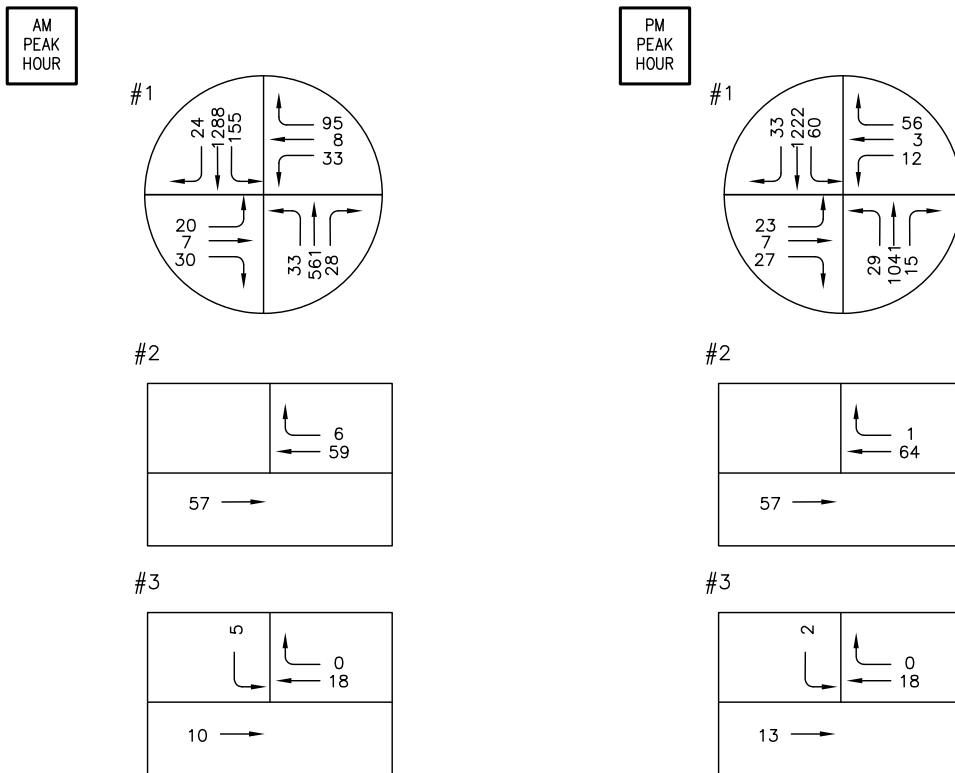
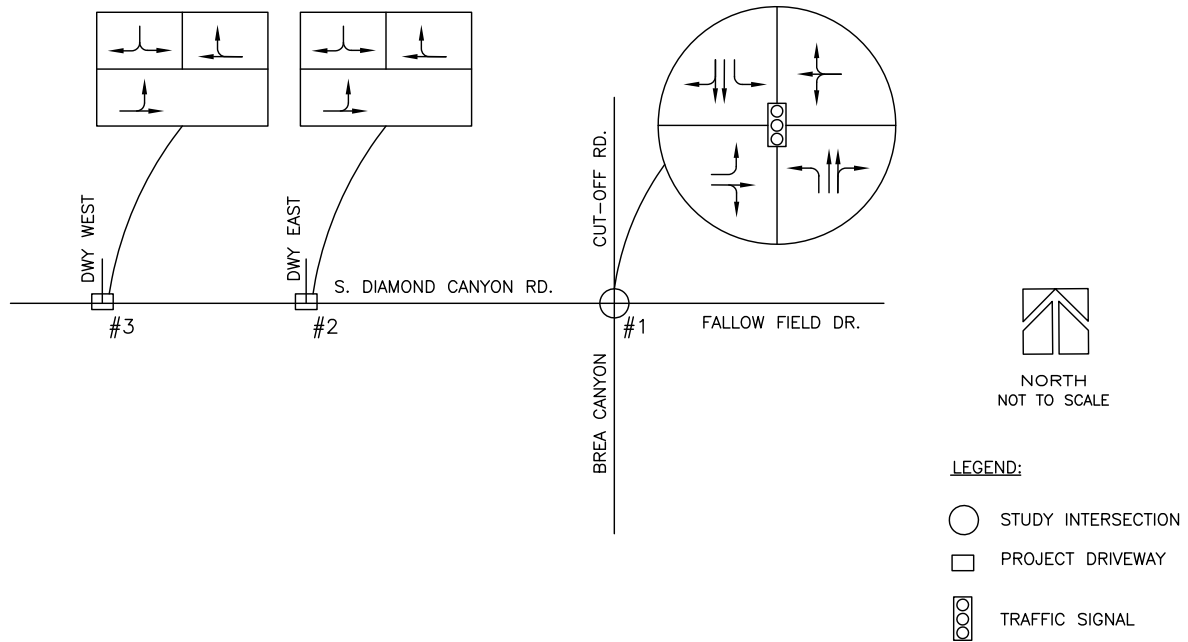
Turning movement counts in the AM and PM peak hour were collected in a typical weekday on April 30, 2024. The existing lane configuration and traffic volumes at the

study intersections are shown in **Exhibit 3**. Complete traffic count data can be found in **Appendix A**.

The LOS and overall delay for existing conditions are shown in **Table 1**. The study intersections operate at LOS D or better in both the AM and PM peak hours under existing conditions. The analysis worksheets are provided in **Appendix B**.

Table 1. Existing Conditions

Intersection	Control	AM Peak Hour		PM Peak Hour	
		LOS	Delay (sec)	LOS	Delay (sec)
Brea Canyon Cut-off Rd at S. Diamond Canyon Rd/ Fallow Field Drive	Traffic Signal	C	32.9	D	40.5
S. Diamond Canyon Rd at East Driveway	Stop at Driveway	A	0	A	0
S. Diamond Canyon Rd at West Driveway	Stop at Driveway	A	8.7	A	8.7



EXISTING LANE CONFIGURATION AND TRAFFIC VOLUMES

EXHIBIT 3

TRIP GENERATION

Trip generation represents the amount of traffic attracted and produced by the project development. Based upon the recommendations from “*Trip Generation, 11th Edition*,” published by the Institute of Transportation Engineers (ITE), applicable trip generation rates are shown in **Table 2**.

Table 2. Trip Generation Rate

LAND USE (ITE CODE)	UNIT	DAILY	AM PEAK HOUR			PM PEAK HOUR		
			Rate	IN	OUT	Rate	IN	OUT
Day Care Center (565)	Students	4.09	0.78	53%	47%	0.79	47%	53%

Project trip generation is calculated and summarized in **Table 3**. The project is expected to generate 140 trips in the AM peak hour, including 74 inbound trips and 66 outbound trips, 142 trips in the PM peak hour, including 67 inbound trips and 75 outbound trips, and 736 daily trips.

Table 3. Project Trip Generation

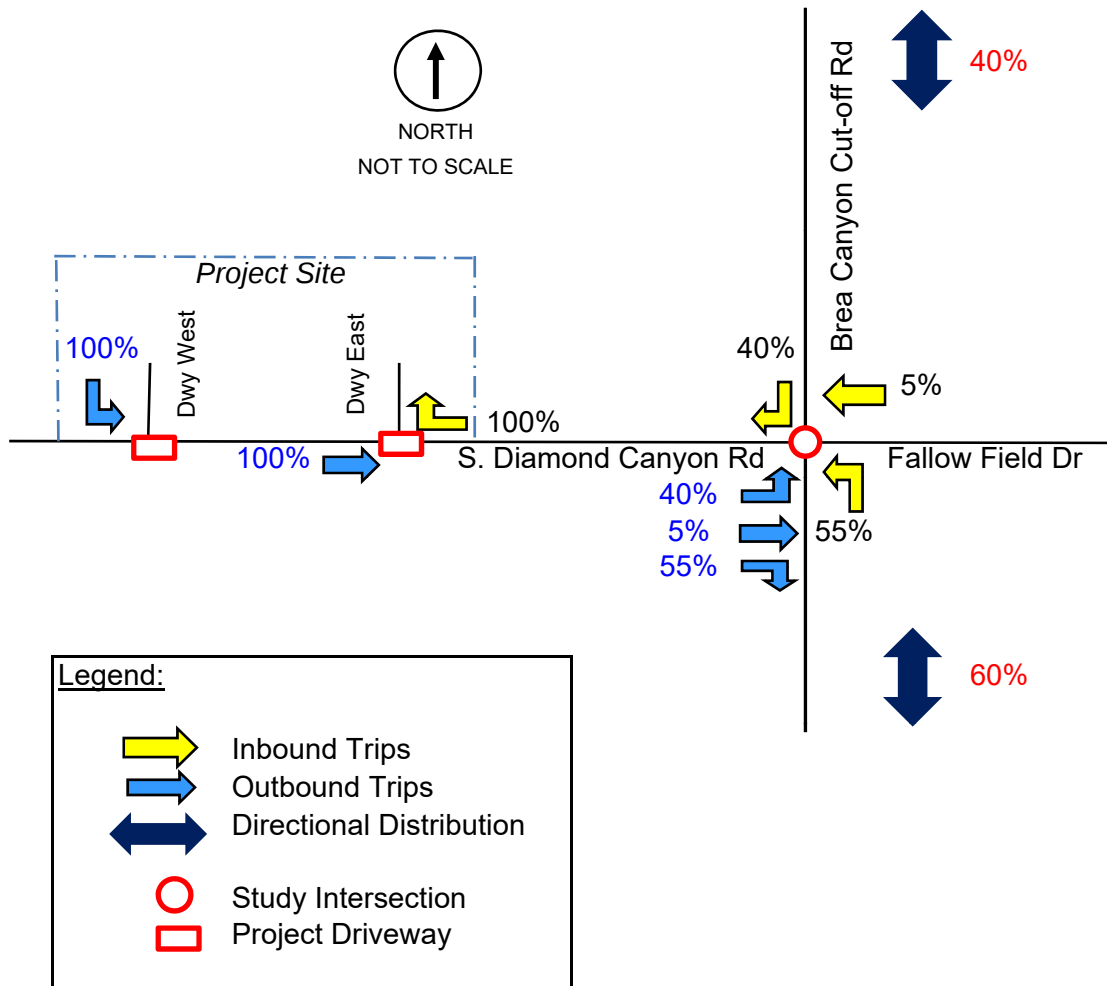
LAND USE (ITE CODE)	QUANTITY	DAILY	AM PEAK HOUR			PM PEAK HOUR		
			TOTAL	IN	OUT	TOTAL	IN	OUT
Day Care Center (565)	180 Students	736	140	74	66	142	67	75

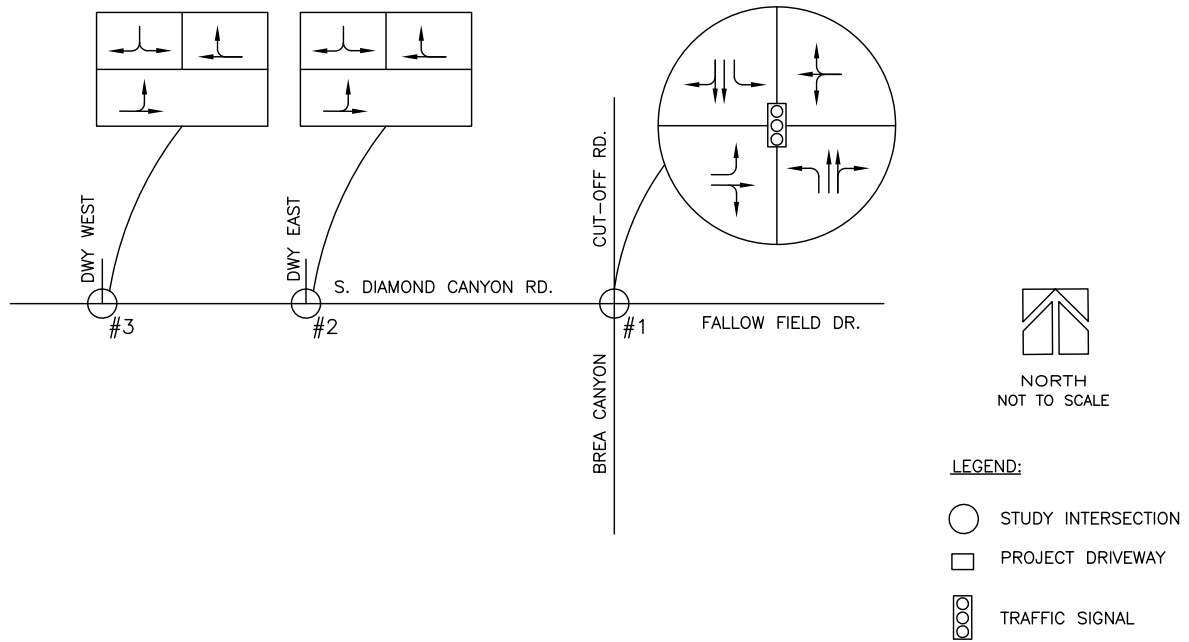
TRIP DISTRIBUTION

Trip distribution represents the directional orientation of traffic to and from the proposed project. Directional orientation is largely influenced by the geographical location of the site, among many other factors. The trip distribution pattern for the project is illustrated in **Exhibit 4**.

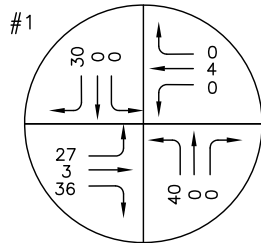
TRAFFIC ASSIGNMENT

The traffic assignment to and from the site has been based upon the results of trip generation, trip distribution, and access layouts. **Exhibit 5** illustrates the traffic assignment of the proposed project in the AM and PM peak hour.

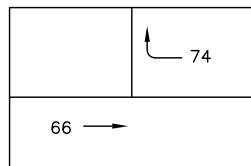
EXHIBIT 4. TRIP DISTRIBUTION



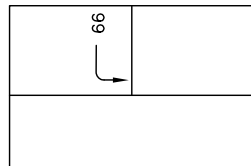
AM
PEAK
HOUR



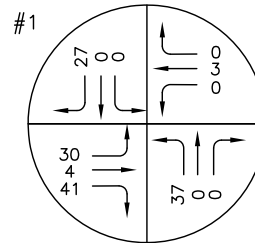
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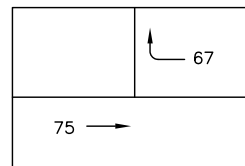
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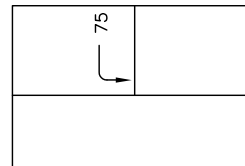
PM
PEAK
HOUR



#2



#3



TRAFFIC ASSIGNMENT

EXHIBIT 5

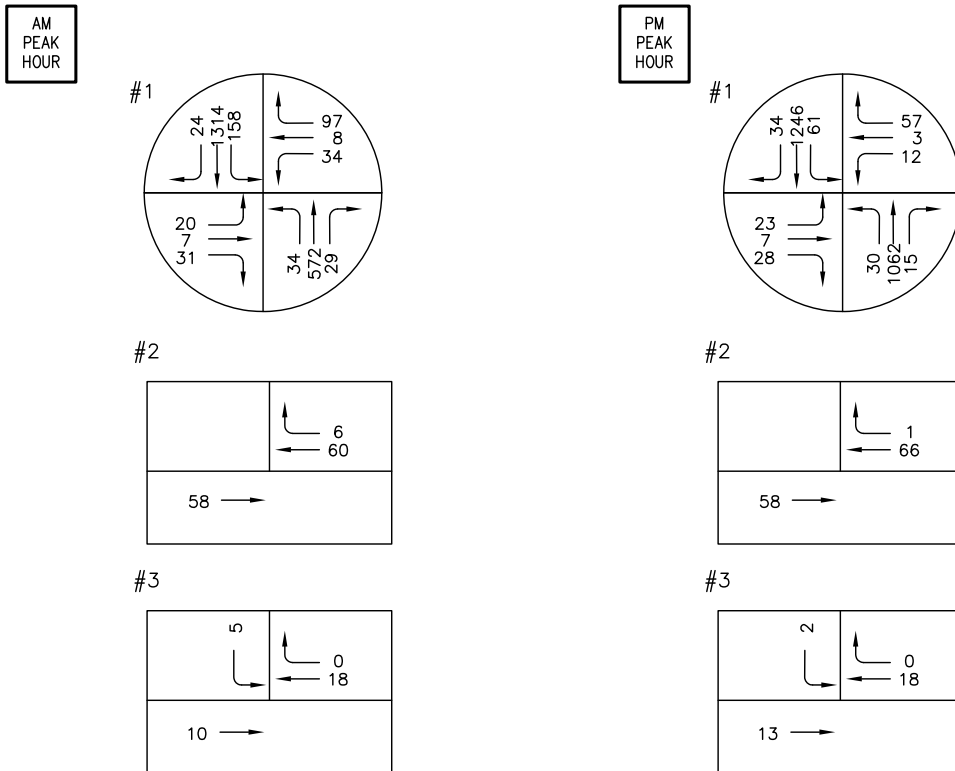
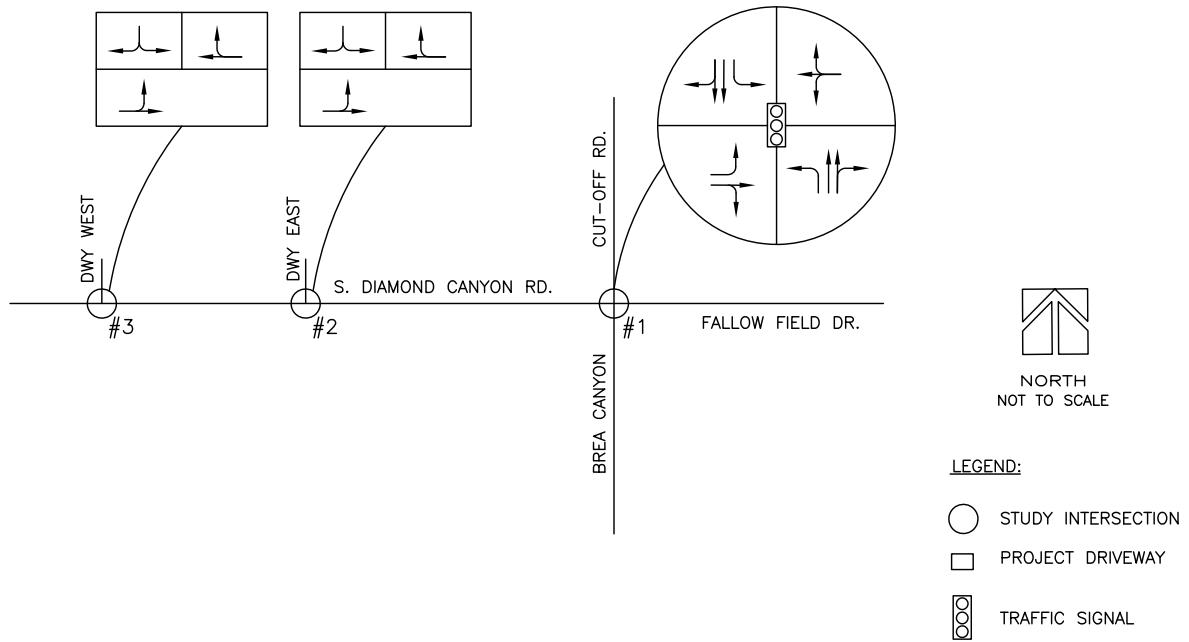
OPENING YEAR WITHOUT PROJECT

For the opening year 2025, the annual ambient growth rate of two percent (2%) is used. This factor represents traffic increases resulting from regional growth. Traffic volumes for the opening year without project are illustrated in **Exhibit 6**.

The LOS and overall delay for opening year without project conditions are shown in **Table 4**. The study intersection remains operating at LOS D or better for the project opening year in AM and PM peak hours. The analysis worksheets can be found in **Appendix B**.

Table 4. Opening Year without Project

Intersection	Control	AM Peak Hour		PM Peak Hour	
		LOS	Delay (sec)	LOS	Delay (sec)
Brea Canyon Cut-off Rd at S. Diamond Canyon Rd/ Fallow Field Drive	Traffic Signal	C	34.3	D	43.0
S. Diamond Canyon Rd at East Driveway	Stop at Driveway	A	0	A	0
S. Diamond Canyon Rd at West Driveway	Stop at Driveway	A	8.7	A	8.7



OPENING YEAR
WITHOUT PROJECT TRAFFIC VOLUMES

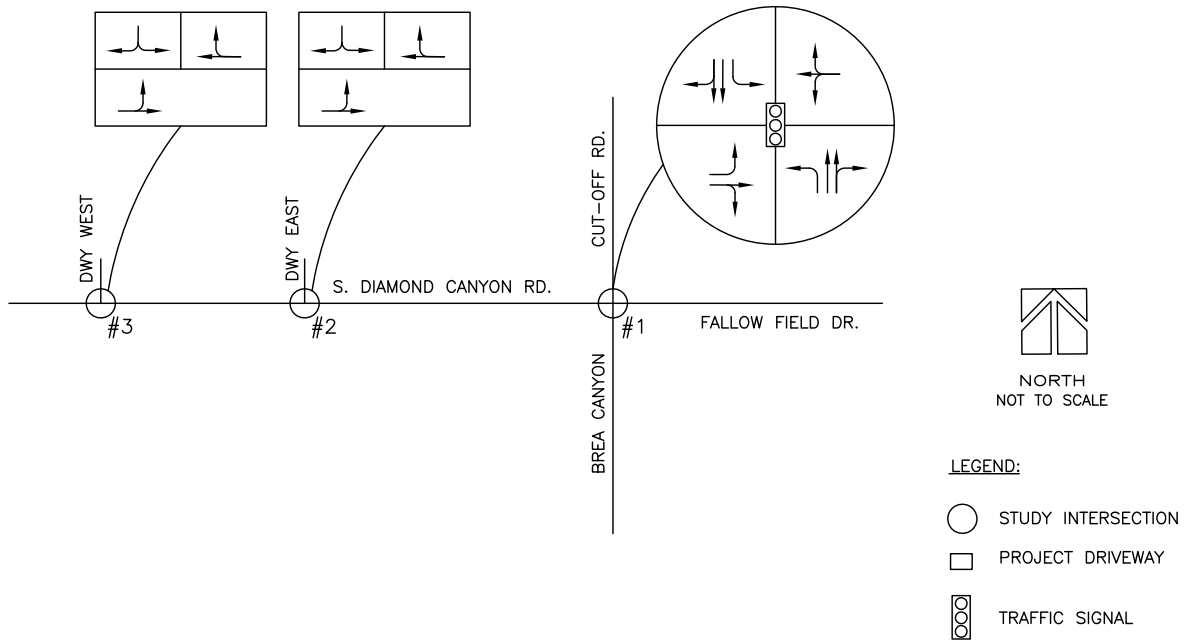
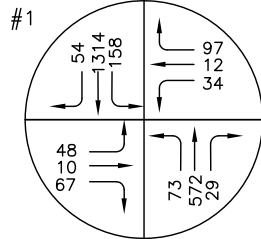
EXHIBIT 6

OPENING YEAR PLUS PROJECT

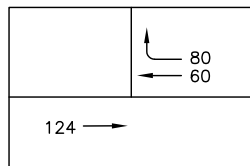
Traffic volumes for the opening year plus project traffic conditions are illustrated in **Exhibit 7**. The level of services and delays at the study intersections under this scenario are shown in **Table 5**. The study intersection remains operating at LOS D or better for the project opening year in AM and PM peak hours. Analysis worksheets can be found in **Appendix B**.

Table 5. Opening Year Plus Project

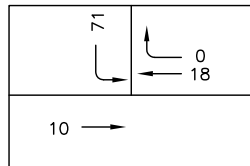
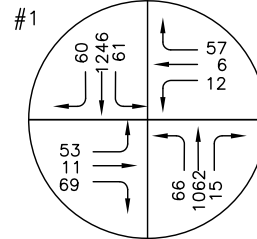
Intersection	Control	AM Peak Hour		PM Peak Hour	
		LOS	Delay (sec)	LOS	Delay (sec)
Brea Canyon Cut-off Rd at S. Diamond Canyon Rd/ Fallow Field Drive	Traffic Signal	D	36.5	D	45.1
S. Diamond Canyon Rd at East Driveway	Stop at Driveway	A	0	A	0
S. Diamond Canyon Rd at West Driveway	Stop at Driveway	A	9.0	A	9.0

AM
PEAK
HOUR

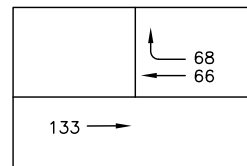
#2



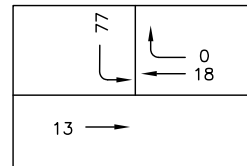
#3

PM
PEAK
HOUR

#2



#3



**OPENING YEAR
PLUS PROJECT TRAFFIC VOLUMES**

EXHIBIT 7

TRANSPORTATION EFFECTS

According to the “*City of Diamond Bar Transportation Analysis Guidelines for Vehicle Miles Traveled and Level of Service Assessment*,” dated September 2020, the acceptable LOS for intersections in the City of Diamond Bar is D or better as established in the City’s General Plan. Any intersection operating at a LOS E or F is considered deficient.

Signalized intersections will require improvements if one of the following conditions is met:

- Any study intersection that is operating at a LOS 'D' or better for any study scenario without project traffic in which the addition of project traffic causes the intersection to degrade to a LOS 'E' or 'F' shall improve the deficiency so as to bring the intersection back to at least LOS 'D'.
- Any study intersection that is operating at a LOS 'E' or 'F' for any study scenario without project traffic shall improve any deficiencies so as to bring the intersection back to the overall level of delay established prior to project traffic being added.

Upon project completion, all study intersections are expected to operate at acceptable LOS D or better. The project is expected to have no or less than significant traffic impact.

PARKING CALCULATION

The proposed Child Daycare Center (age 0-5) has an enrollment capacity of 180 children with up to 20 employees, and the site will provide eight (8) spaces in the designated drop-off area. Parking requirements for Child Day Care Centers in the City of Diamond Bar are one space for each 10 children, plus one space for each employee, plus one space for each vehicle used in conjunction with the use, plus permanent drop-off area as approved by the director. The parking demand for the proposed child day care center is 46 spaces. Parking calculations are shown in **Table 6**.

The existing elementary school (TK-6) operated by Kingdom Seed Academy consists of seven (7) classrooms for Transitional Kindergarten (TK), Kindergarten (K), and Grade 1 to 5 and an auditorium of 3,134 sq. ft. gross floor area. Parking requirements for elementary school in the City of Diamond Bar are three spaces for each classroom, plus one space for every 200 sq. ft. of assembly area in an auditorium. The parking demand for the existing elementary school is 37 spaces.

Table 6. Parking Calculation

Facility	Parking Ratio	Note	Parking Demand
Proposed Child Day Care Center (Age 0-5, Private)	1 space for each 10 children, plus one space for each employee, plus one space for each vehicle used in conjunction with the use, plus permanent drop-off area	180 children, 20 employees, no company vehicle, 8 spaces for drop-off	46
Existing Elementary School (TK-6, Private)	3 spaces for each classroom, plus one space for every 200 sq. ft. of assembly area in an auditorium	7 classrooms (TK, K-5), auditorium of 3,134 sq. ft.	37
Total Parking Demand			83
Parking Capacity			109
Parking Redundancy			+26

Upon project completion, the site will provide a total of 109 parking spaces, including six (6) ADA accessible spaces and 8 spaces in the designated drop-off area. With a combined parking demand of 83 spaces for the proposed child day care center and the existing elementary school, the site has provided sufficient parking with a redundancy of 26 parking spaces.

DROP-OFF AND PICK-UP ACTIVITIES

Based on the actual enrollment of the elementary school and day care center, the drop-off schedule will be staggered and coordinated between all classes. For children's safety and comfort, all children must be escorted into the building by an adult and not dropped off at any other place outside the school. Parents can use any available parking space in the parking lot that is shared by the elementary school and child daycare center. As shown in **Table 7**, the overall drop-off demand in worst-case scenario of full enrollment is 18 spaces between 8:00 AM and 8:30 AM. The peak drop-off demand for the day care center is 8 spaces between 8:30 AM and 9:00 AM.

Table 7. Worst-Case Scenario Drop-Off Demand

Time Period	Elementary School Drop-Off ¹			Day Care Center Drop-Off			Combined	
	%	Trips ²	Peak Demand ³		Trips	Peak Demand	Trips	Peak Demand
7:00 AM - 7:30 AM	0%	0	0	10%	18	3	18	3
7:30 AM - 8:00 AM	20%	25	3	15%	27	5	65	8
8:00 AM - 8:30 AM	70%	90	12	20%	36	6	100	18
8:30 AM - 9:00 AM	10%	13	2	25%	45	8	71	10
9:00 AM - 9:30 AM	0%	0	0	20%	36	6	7	6
9:30 AM - 10:00 AM	0%	0	0	10%	18	3	4	3
	Total =	128	Max. 12	Total =	180	Max. 8		Max. 18

For the convenience of parents dropping off young toddlers and infants, a designated loading area is provided in front of the day care center entrance, as shown in **Exhibit 8**. This designated loading area provides eight (8) spaces to match the anticipated demand of the day care center. Nonetheless, any excessive loading demand would be

¹ Early drop-off after 7 AM is accepted for the convenience of working parents as a courtesy of this private school.

² Estimated average duration of drop-off parking: 4 minutes for Elementary School & 5 minutes for Day Care Center.

³ Peak Demand = (Average arrival rate per minute) x (Average Duration in minutes)

adequately accommodated with no overflow even at full enrollment since the site has a high parking redundancy.

Based on the actual enrollment of the elementary school, the pick-up schedule will be staggered and coordinated between all classes. The proposed child daycare center will allow flexible pick-up schedules to meet parents' demands each day. Pick-up schedules for young children age 0 to 5 vary largely on parents' own schedules. Children are picked up on a staggered basis between noon and 6 PM. Without a specific concentration in any time period, pick-up activities are expected to be sufficiently accommodated.

The recommended direction of traffic flow consists of vehicles entering from the east driveway and exiting through the west driveway. The designated loading area is expected to function well with no overflow even at full enrollment. "10 MIN PARKING" signage will be installed for this designated loading area, and the curb will be painted in green with white letters of "10 MIN PARKING".

VMT SCREENING ASSESSMENT

For the purpose of Senate Bill (SB) 743 and California Environmental Quality Act (CEQA) compliance, a VMT analysis should be conducted for land use projects that have the potential to increase the average VMT per service population. In accordance with the City of Diamond Bar Transportation Study Guidelines for Vehicle Miles Traveled and Level of Service Assessment, Day Care Center is listed as a project type of local serving nature that can be presumed to have a less than significant impact. Therefore, a full project-level VMT analysis is not required.

APPENDIX A

TURNING MOVEMENT COUNT DATA

INTERSECTION TURNING MOVEMENT COUNTS

PREPARED BY: AimTD LLC. tel: 714 253 7888 cs@aimtd.com

DATE:

Tue, Apr 30, 24

LOCATION:

NORTH & SOUTH:

EAST & WEST:

Diamond Bar

Brea Canyon Cut-off Rd

S Diamond Canyon Rd

PROJECT #:

SC4639

LOCATION #:

1

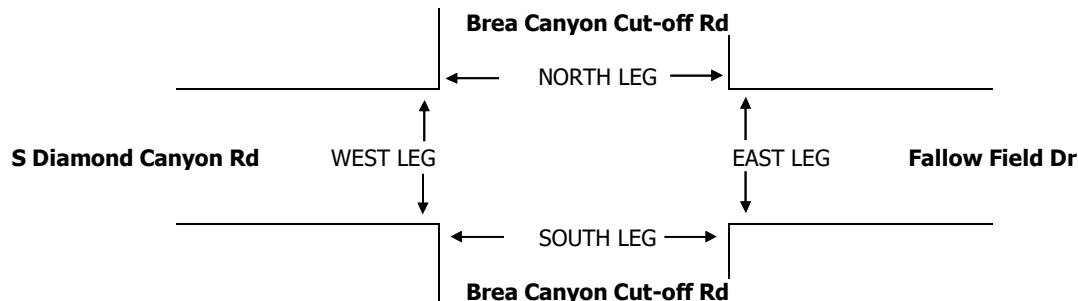
CONTROL:

SIGNAL

NOTES:

AM		▲	
PM		N	
MD	◀ W		E ▶
OTHER		S	
OTHER		▼	

		NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			
		Brea Canyon Cut-off Rd			Brea Canyon Cut-off Rd			S Diamond Canyon Rd			Fallow Field Dr			
LANES:		NL	NT	NR	SL	ST	SR	EL	ET	ER	WL	WT	WR	TOTAL
		1	2	0	1	2	0	1	1	0	0	1	0	
AM	7:00 AM	1	62	5	1	273	0	3	0	2	6	0	4	357
	7:15 AM	3	86	1	4	281	0	2	0	0	7	2	5	391
	7:30 AM	2	132	5	21	332	1	3	2	4	8	0	4	514
	7:45 AM	6	137	3	29	321	1	4	0	10	4	1	13	529
	8:00 AM	9	141	14	56	356	8	4	4	4	9	3	19	627
	8:15 AM	16	151	6	49	279	14	9	1	12	12	4	59	612
	8:30 AM	12	146	1	8	272	5	6	2	9	7	1	16	485
	8:45 AM	8	143	5	14	267	4	6	0	10	6	1	12	476
	VOLUMES	57	998	40	182	2,381	33	37	9	51	59	12	132	3,995
	APPROACH %	5%	91%	4%	7%	92%	1%	38%	9%	53%	29%	6%	65%	
APP/DEPART	1,099	/	1,167	2,596	/	2,495	97	/	231	203	/	102	0	
BEGIN PEAK HR	7:30 AM													
VOLUMES	33	561	28	155	1,288	24	20	7	30	33	8	95	2,283	
APPROACH %	5%	90%	4%	11%	88%	2%	35%	12%	53%	24%	6%	70%		
PEAK HR FACTOR	0.895			0.873			0.648			0.453			0.910	
APP/DEPART	623	/	676	1,467	/	1,352	57	/	190	136	/	65	0	
PM	4:00 PM	7	249	2	15	266	5	12	0	7	3	0	17	583
	4:15 PM	3	266	5	15	290	5	7	0	6	2	0	20	619
	4:30 PM	11	217	4	14	275	9	5	0	8	4	0	19	566
	4:45 PM	12	229	1	17	276	9	7	1	10	5	0	19	586
	5:00 PM	7	272	1	11	289	12	5	1	9	2	0	14	623
	5:15 PM	9	261	5	22	312	9	4	1	6	3	3	14	649
	5:30 PM	5	262	2	16	301	6	8	1	7	6	0	18	632
	5:45 PM	8	246	7	11	320	6	6	4	5	1	0	10	624
	VOLUMES	62	2,002	27	121	2,329	61	54	8	58	26	3	131	4,886
	APPROACH %	3%	96%	1%	5%	93%	2%	45%	7%	48%	16%	2%	82%	
	APP/DEPART	2,095	/	2,187	2,511	/	2,417	120	/	156	160	/	126	0
	BEGIN PEAK HR	5:00 PM												
	VOLUMES	29	1,041	15	60	1,222	33	23	7	27	12	3	56	2,532
	APPROACH %	3%	96%	1%	5%	93%	3%	40%	12%	47%	17%	4%	79%	
	PEAK HR FACTOR	0.969			0.958			0.891			0.740			0.974
	APP/DEPART	1,089	/	1,120	1,315	/	1,265	57	/	82	71	/	65	0



AM/PM PEAK-HOUR TRAFFIC VOLUMES FOR PROJECT DRIVEWAYS

3333 S. Diamond Canyon Road, Diamond Bar

#2 Project Driveway East at S. Diamond Canyon Rd*

	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
AM PEAK		57			59	6						
PM PEAK		57			65	1						

* Traffic volumes were derived from the intersection of S. Diamond Canyon Rd and Brea Canyon Cut-Off Road.

#3 Project Driveway West at S. Diamond Canyon Rd*

	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
AM PEAK		10			18					5		
PM PEAK		13			18					2		

* Traffic volumes were derived from the intersection of S. Diamond Canyon Rd and Brea Canyon Cut-Off Road.

Supplemental Data: S. Diamond Canyon Rd at S. Oak Valley PI*

	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
AM PEAK		15		41	18				42			
PM PEAK		13		46	18				44			

* Traffic volumes were derived from the intersection of S. Diamond Canyon Rd and Brea Canyon Cut-Off Road.

APPENDIX B

LEVEL OF SERVICE ANALYSIS

HCM 6th Signalized Intersection Summary

1: Brea Canyon Cut-off Rd & S. Diamond Canyon Rd/Fallow Field Dr

08/16/2024

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	20	7	30	33	8	95	33	561	28	155	1288	24
Future Volume (veh/h)	20	7	30	33	8	95	33	561	28	155	1288	24
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	22	8	33	36	9	104	36	616	31	170	1415	26
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	315	63	260	100	44	218	348	1507	76	352	1571	29
Arrive On Green	0.20	0.20	0.20	0.20	0.20	0.20	0.20	0.44	0.44	0.20	0.44	0.44
Sat Flow, veh/h	1280	319	1315	252	225	1102	1781	3443	173	1781	3570	66
Grp Volume(v), veh/h	22	0	41	149	0	0	36	318	329	170	704	737
Grp Sat Flow(s),veh/h/ln	1280	0	1634	1579	0	0	1781	1777	1839	1781	1777	1859
Q Serve(g_s), s	0.0	0.0	1.9	1.5	0.0	0.0	1.5	11.0	11.0	7.6	33.1	33.1
Cycle Q Clear(g_c), s	1.5	0.0	1.9	7.2	0.0	0.0	1.5	11.0	11.0	7.6	33.1	33.1
Prop In Lane	1.00		0.80	0.24		0.70	1.00		0.09	1.00		0.04
Lane Grp Cap(c), veh/h	315	0	323	362	0	0	348	778	805	352	782	818
V/C Ratio(X)	0.07	0.00	0.13	0.41	0.00	0.00	0.10	0.41	0.41	0.48	0.90	0.90
Avail Cap(c_a), veh/h	315	0	323	362	0	0	348	778	805	352	782	818
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	29.6	0.0	29.7	31.8	0.0	0.0	29.7	17.3	17.3	32.0	23.4	23.4
Incr Delay (d2), s/veh	0.4	0.0	0.8	3.4	0.0	0.0	0.6	1.6	1.5	4.7	15.5	15.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.4	0.0	0.8	3.1	0.0	0.0	0.7	4.5	4.6	3.6	15.8	16.4
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	30.0	0.0	30.5	35.3	0.0	0.0	30.3	18.9	18.9	36.7	38.8	38.4
LnGrp LOS	C	A	C	D	A	A	C	B	B	D	D	D
Approach Vol, veh/h	63			149			683			1611		
Approach Delay, s/veh	30.3			35.3			19.5			38.4		
Approach LOS	C			D			B			D		
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	22.8	44.4		22.8	22.6	44.6		22.8				
Change Period (Y+Rc), s	4.0	4.0		4.0	4.0	4.0		4.0				
Max Green Setting (Gmax), s	18.8	40.4		18.8	18.6	40.6		18.8				
Max Q Clear Time (g_c+I1), s	9.6	13.0		3.9	3.5	35.1		9.2				
Green Ext Time (p_c), s	0.3	3.9		0.2	0.0	3.8		0.5				
Intersection Summary												
HCM 6th Ctrl Delay	32.9											
HCM 6th LOS	C											

HCM 6th TWSC

2: S. Diamond Canyon Rd & East Dwy

08/16/2024

Intersection						
Int Delay, s/veh	0					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	0	57	59	6	0	0
Future Vol, veh/h	0	57	59	6	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	63	65	7	0	0
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	72	0	-	0	132	69
Stage 1	-	-	-	-	69	-
Stage 2	-	-	-	-	63	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1528	-	-	-	862	994
Stage 1	-	-	-	-	954	-
Stage 2	-	-	-	-	960	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1528	-	-	-	862	994
Mov Cap-2 Maneuver	-	-	-	-	862	-
Stage 1	-	-	-	-	954	-
Stage 2	-	-	-	-	960	-
Approach	EB	WB		SB		
HCM Control Delay, s	0	0		0		
HCM LOS				A		
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	1528	-	-	-	-	
HCM Lane V/C Ratio	-	-	-	-	-	
HCM Control Delay (s)	0	-	-	-	0	
HCM Lane LOS	A	-	-	-	A	
HCM 95th %tile Q(veh)	0	-	-	-	-	

HCM 6th TWSC

3: S. Diamond Canyon Rd & West Dwy

08/16/2024

Intersection

Int Delay, s/veh 1.3

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↑	↑		↓	
Traffic Vol, veh/h	0	10	18	0	5	0
Future Vol, veh/h	0	10	18	0	5	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	11	20	0	5	0

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	-	0	31
Stage 1	-	-	20
Stage 2	-	-	11
Critical Hdwy	-	-	6.42
Critical Hdwy Stg 1	-	-	5.42
Critical Hdwy Stg 2	-	-	5.42
Follow-up Hdwy	-	-	3.518
Pot Cap-1 Maneuver	0	-	983
Stage 1	0	-	1003
Stage 2	0	-	1012
Platoon blocked, %	-	-	
Mov Cap-1 Maneuver	-	-	983
Mov Cap-2 Maneuver	-	-	983
Stage 1	-	-	1003
Stage 2	-	-	1012

Approach	EB	WB	SB
HCM Control Delay, s	0	0	8.7
HCM LOS			A

Minor Lane/Major Mvmt	EBT	WBT	SBLn1
Capacity (veh/h)	-	-	983
HCM Lane V/C Ratio	-	-	0.006
HCM Control Delay (s)	-	-	8.7
HCM Lane LOS	-	-	A
HCM 95th %tile Q(veh)	-	-	0

HCM 6th Signalized Intersection Summary

1: Brea Canyon Cut-off Rd & S. Diamond Canyon Rd/Fallow Field Dr

08/16/2024

																				
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR								
Lane Configurations																				
Traffic Volume (veh/h)	20	7	31	34	8	97	34	572	29	158	1314	24								
Future Volume (veh/h)	20	7	31	34	8	97	34	572	29	158	1314	24								
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0								
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00								
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00								
Work Zone On Approach	No			No			No			No										
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870								
Adj Flow Rate, veh/h	22	8	34	37	9	107	37	629	32	174	1444	26								
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91								
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2								
Cap, veh/h	312	61	261	100	44	218	348	1506	77	352	1571	28								
Arrive On Green	0.20	0.20	0.20	0.20	0.20	0.20	0.20	0.44	0.44	0.20	0.44	0.44								
Sat Flow, veh/h	1276	311	1322	252	222	1104	1781	3441	175	1781	3571	64								
Grp Volume(v), veh/h	22	0	42	153	0	0	37	325	336	174	718	752								
Grp Sat Flow(s),veh/h/ln	1276	0	1632	1578	0	0	1781	1777	1839	1781	1777	1859								
Q Serve(g_s), s	0.0	0.0	1.9	1.7	0.0	0.0	1.5	11.3	11.3	7.8	34.2	34.3								
Cycle Q Clear(g_c), s	1.6	0.0	1.9	7.5	0.0	0.0	1.5	11.3	11.3	7.8	34.2	34.3								
Prop In Lane	1.00		0.81	0.24		0.70	1.00		0.10	1.00		0.03								
Lane Grp Cap(c), veh/h	312	0	323	362	0	0	348	778	805	352	782	818								
V/C Ratio(X)	0.07	0.00	0.13	0.42	0.00	0.00	0.11	0.42	0.42	0.49	0.92	0.92								
Avail Cap(c_a), veh/h	312	0	323	362	0	0	348	778	805	352	782	818								
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00								
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00								
Uniform Delay (d), s/veh	29.6	0.0	29.7	31.9	0.0	0.0	29.7	17.4	17.4	32.1	23.7	23.7								
Incr Delay (d2), s/veh	0.4	0.0	0.8	3.6	0.0	0.0	0.6	1.6	1.6	4.9	17.5	17.1								
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0								
%ile BackOfQ(50%),veh/ln	0.4	0.0	0.8	3.2	0.0	0.0	0.7	4.6	4.8	3.7	16.6	17.3								
Unsig. Movement Delay, s/veh																				
LnGrp Delay(d),s/veh	30.0	0.0	30.6	35.5	0.0	0.0	30.4	19.0	19.0	37.0	41.2	40.8								
LnGrp LOS	C	A	C	D	A	A	C	B	B	D	D	D								
Approach Vol, veh/h	64			153			698			1644										
Approach Delay, s/veh	30.4			35.5			19.6			40.6										
Approach LOS	C			D			B			D										
Timer - Assigned Phs	1	2	4		5	6	8													
Phs Duration (G+Y+Rc), s	22.8	44.4	22.8		22.6	44.6	22.8													
Change Period (Y+Rc), s	4.0	4.0	4.0		4.0	4.0	4.0													
Max Green Setting (Gmax), s	18.8	40.4	18.8		18.6	40.6	18.8													
Max Q Clear Time (g_c+I1), s	9.8	13.3	3.9		3.5	36.3	9.5													
Green Ext Time (p_c), s	0.3	4.0	0.2		0.0	3.2	0.5													
Intersection Summary																				
HCM 6th Ctrl Delay	34.3																			
HCM 6th LOS	C																			

HCM 6th TWSC

2: S. Diamond Canyon Rd & East Dwy

08/16/2024

Intersection						
Int Delay, s/veh	0					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	0	58	60	6	0	0
Future Vol, veh/h	0	58	60	6	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	64	66	7	0	0
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	73	0	-	0	134	70
Stage 1	-	-	-	-	70	-
Stage 2	-	-	-	-	64	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1527	-	-	-	860	993
Stage 1	-	-	-	-	953	-
Stage 2	-	-	-	-	959	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1527	-	-	-	860	993
Mov Cap-2 Maneuver	-	-	-	-	860	-
Stage 1	-	-	-	-	953	-
Stage 2	-	-	-	-	959	-
Approach	EB	WB		SB		
HCM Control Delay, s	0	0		0		
HCM LOS				A		
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	1527	-	-	-	-	
HCM Lane V/C Ratio	-	-	-	-	-	
HCM Control Delay (s)	0	-	-	-	0	
HCM Lane LOS	A	-	-	-	A	
HCM 95th %tile Q(veh)	0	-	-	-	-	

HCM 6th TWSC

3: S. Diamond Canyon Rd & West Dwy

08/16/2024

Intersection						
Int Delay, s/veh	1.3					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↑	↑		↓	↓
Traffic Vol, veh/h	0	10	18	0	5	0
Future Vol, veh/h	0	10	18	0	5	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	11	20	0	5	0
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	-	0	-	0	31	20
Stage 1	-	-	-	-	20	-
Stage 2	-	-	-	-	11	-
Critical Hdwy	-	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	0	-	-	0	983	1058
Stage 1	0	-	-	0	1003	-
Stage 2	0	-	-	0	1012	-
Platoon blocked, %		-	-			
Mov Cap-1 Maneuver	-	-	-	-	983	1058
Mov Cap-2 Maneuver	-	-	-	-	983	-
Stage 1	-	-	-	-	1003	-
Stage 2	-	-	-	-	1012	-
Approach	EB	WB		SB		
HCM Control Delay, s	0	0		8.7		
HCM LOS				A		
Minor Lane/Major Mvmt	EBT	WBT	SBLn1			
Capacity (veh/h)	-	-	983			
HCM Lane V/C Ratio	-	-	0.006			
HCM Control Delay (s)	-	-	8.7			
HCM Lane LOS	-	-	A			
HCM 95th %tile Q(veh)	-	-	0			

HCM 6th Signalized Intersection Summary

1: Brea Canyon Cut-off Rd & S. Diamond Canyon Rd/Fallow Field Dr

08/16/2024

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	47	10	67	34	12	97	74	572	29	158	1314	54
Future Volume (veh/h)	47	10	67	34	12	97	74	572	29	158	1314	54
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	52	11	74	37	13	107	81	629	32	174	1444	59
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	309	41	278	97	51	212	348	1506	77	352	1531	62
Arrive On Green	0.20	0.20	0.20	0.20	0.20	0.20	0.20	0.44	0.44	0.20	0.44	0.44
Sat Flow, veh/h	1272	209	1408	241	260	1073	1781	3441	175	1781	3480	142
Grp Volume(v), veh/h	52	0	85	157	0	0	81	325	336	174	736	767
Grp Sat Flow(s),veh/h/ln	1272	0	1617	1575	0	0	1781	1777	1839	1781	1777	1845
Q Serve(g_s), s	0.0	0.0	4.0	1.8	0.0	0.0	3.4	11.3	11.3	7.8	35.6	35.9
Cycle Q Clear(g_c), s	3.9	0.0	4.0	7.7	0.0	0.0	3.4	11.3	11.3	7.8	35.6	35.9
Prop In Lane	1.00		0.87	0.24		0.68	1.00		0.10	1.00		0.08
Lane Grp Cap(c), veh/h	309	0	320	361	0	0	348	778	805	352	782	812
V/C Ratio(X)	0.17	0.00	0.27	0.44	0.00	0.00	0.23	0.42	0.42	0.49	0.94	0.95
Avail Cap(c_a), veh/h	309	0	320	361	0	0	348	778	805	352	782	812
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	30.5	0.0	30.6	32.0	0.0	0.0	30.5	17.4	17.4	32.1	24.1	24.2
Incr Delay (d2), s/veh	1.2	0.0	2.0	3.8	0.0	0.0	1.6	1.6	1.6	4.9	20.7	20.7
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.0	0.0	1.7	3.3	0.0	0.0	1.6	4.6	4.8	3.7	17.9	18.7
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	31.7	0.0	32.6	35.8	0.0	0.0	32.1	19.0	19.0	37.0	44.8	44.9
LnGrp LOS	C	A	C	D	A	A	C	B	B	D	D	D
Approach Vol, veh/h		137			157			742			1677	
Approach Delay, s/veh		32.3			35.8			20.5			44.0	
Approach LOS		C			D			C			D	
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	22.8	44.4		22.8	22.6	44.6		22.8				
Change Period (Y+Rc), s	4.0	4.0		4.0	4.0	4.0		4.0				
Max Green Setting (Gmax), s	18.8	40.4		18.8	18.6	40.6		18.8				
Max Q Clear Time (g_c+I1), s	9.8	13.3		6.0	5.4	37.9		9.7				
Green Ext Time (p_c), s	0.3	4.0		0.4	0.1	2.1		0.5				
Intersection Summary												
HCM 6th Ctrl Delay			36.5									
HCM 6th LOS			D									

HCM 6th TWSC

2: S. Diamond Canyon Rd & East Dwy

08/16/2024

Intersection

Int Delay, s/veh 0

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	0	124	60	80	0	0
Future Vol, veh/h	0	124	60	80	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	136	66	88	0	0

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	154	0	0 246 110
Stage 1	-	-	- 110 -
Stage 2	-	-	- 136 -
Critical Hdwy	4.12	-	- 6.42 6.22
Critical Hdwy Stg 1	-	-	- 5.42 -
Critical Hdwy Stg 2	-	-	- 5.42 -
Follow-up Hdwy	2.218	-	- 3.518 3.318
Pot Cap-1 Maneuver	1426	-	- 742 943
Stage 1	-	-	- 915 -
Stage 2	-	-	- 890 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1426	-	- 742 943
Mov Cap-2 Maneuver	-	-	- 742 -
Stage 1	-	-	- 915 -
Stage 2	-	-	- 890 -

Approach	EB	WB	SB
HCM Control Delay, s	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1426	-	-	-	-
HCM Lane V/C Ratio	-	-	-	-	-
HCM Control Delay (s)	0	-	-	-	0
HCM Lane LOS	A	-	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	-

HCM 6th TWSC

3: S. Diamond Canyon Rd & West Dwy

08/16/2024

Intersection						
Int Delay, s/veh	6.5					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations					 	
Traffic Vol, veh/h	0	10	18	0	71	0
Future Vol, veh/h	0	10	18	0	71	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	11	20	0	78	0
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	-	0	-	0	31	20
Stage 1	-	-	-	-	20	-
Stage 2	-	-	-	-	11	-
Critical Hdwy	-	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	0	-	-	0	983	1058
Stage 1	0	-	-	0	1003	-
Stage 2	0	-	-	0	1012	-
Platoon blocked, %		-	-			
Mov Cap-1 Maneuver	-	-	-	-	983	1058
Mov Cap-2 Maneuver	-	-	-	-	983	-
Stage 1	-	-	-	-	1003	-
Stage 2	-	-	-	-	1012	-
Approach	EB	WB		SB		
HCM Control Delay, s	0	0		9		
HCM LOS					A	
Minor Lane/Major Mvmt	EBT	WBT	SBLn1			
Capacity (veh/h)	-	-	983			
HCM Lane V/C Ratio	-	-	0.079			
HCM Control Delay (s)	-	-	9			
HCM Lane LOS	-	-	A			
HCM 95th %tile Q(veh)	-	-	0.3			

HCM 6th Signalized Intersection Summary

1: Brea Canyon Cut-off Rd & S. Diamond Canyon Rd/Fallow Field Dr

08/16/2024

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	23	7	27	12	3	56	29	1041	15	60	1222	33
Future Volume (veh/h)	23	7	27	12	3	56	29	1041	15	60	1222	33
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	24	7	28	12	3	58	30	1073	15	62	1260	34
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	401	72	288	83	42	278	392	1337	19	392	1317	36
Arrive On Green	0.22	0.22	0.22	0.22	0.22	0.22	0.22	0.37	0.37	0.22	0.37	0.37
Sat Flow, veh/h	1341	327	1308	138	189	1265	1781	3588	50	1781	3535	95
Grp Volume(v), veh/h	24	0	35	73	0	0	30	531	557	62	633	661
Grp Sat Flow(s),veh/h/ln	1341	0	1635	1593	0	0	1781	1777	1861	1781	1777	1853
Q Serve(g_s), s	0.0	0.0	1.4	0.0	0.0	0.0	1.1	21.4	21.4	2.3	27.8	27.8
Cycle Q Clear(g_c), s	0.9	0.0	1.4	2.9	0.0	0.0	1.1	21.4	21.4	2.3	27.8	27.8
Prop In Lane	1.00		0.80	0.16		0.79	1.00		0.03	1.00		0.05
Lane Grp Cap(c), veh/h	401	0	360	403	0	0	392	662	693	392	662	690
V/C Ratio(X)	0.06	0.00	0.10	0.18	0.00	0.00	0.08	0.80	0.80	0.16	0.96	0.96
Avail Cap(c_a), veh/h	401	0	360	403	0	0	392	662	693	392	662	690
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	24.7	0.0	24.9	25.5	0.0	0.0	24.8	22.5	22.5	25.2	24.5	24.5
Incr Delay (d2), s/veh	0.3	0.0	0.5	1.0	0.0	0.0	0.4	10.0	9.5	0.9	25.8	25.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.4	0.0	0.6	1.2	0.0	0.0	0.5	9.9	10.2	1.0	15.2	15.7
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	25.0	0.0	25.4	26.5	0.0	0.0	25.1	32.4	32.0	26.1	50.3	49.8
LnGrp LOS	C	A	C	C	A	A	C	C	C	C	D	D
Approach Vol, veh/h	59			73			1118			1356		
Approach Delay, s/veh	25.2			26.5			32.0			48.9		
Approach LOS	C			C			C			D		
Timer - Assigned Phs	1	2	4		5	6	8					
Phs Duration (G+Y+Rc), s	22.6	34.8	22.6		22.6	34.8	22.6					
Change Period (Y+Rc), s	4.0	4.0	4.0		4.0	4.0	4.0					
Max Green Setting (Gmax), s	18.6	30.8	18.6		18.6	30.8	18.6					
Max Q Clear Time (g_c+I1), s	4.3	23.4	3.4		3.1	29.8	4.9					
Green Ext Time (p_c), s	0.1	3.8	0.1		0.0	0.7	0.2					
Intersection Summary												
HCM 6th Ctrl Delay	40.5											
HCM 6th LOS	D											

HCM 6th TWSC

2: S. Diamond Canyon Rd & East Dwy

08/16/2024

Intersection						
Int Delay, s/veh	0					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	0	57	65	1	0	0
Future Vol, veh/h	0	57	65	1	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	59	67	1	0	0
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	-	0	-	0	127	68
Stage 1	-	-	-	-	68	-
Stage 2	-	-	-	-	59	-
Critical Hdwy	-	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	0	-	-	-	868	995
Stage 1	0	-	-	-	955	-
Stage 2	0	-	-	-	964	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	-	-	-	-	868	995
Mov Cap-2 Maneuver	-	-	-	-	868	-
Stage 1	-	-	-	-	955	-
Stage 2	-	-	-	-	964	-
Approach	EB	WB		SB		
HCM Control Delay, s	0	0		0		
HCM LOS					A	
Minor Lane/Major Mvmt	EBT	WBT	WBR	SBLn1		
Capacity (veh/h)	-	-	-	-		
HCM Lane V/C Ratio	-	-	-	-		
HCM Control Delay (s)	-	-	-	0		
HCM Lane LOS	-	-	-	A		
HCM 95th %tile O(veh)	-	-	-	-		

HCM 6th TWSC

3: S. Diamond Canyon Rd & West Dwy

08/16/2024

Intersection						
Int Delay, s/veh	0.5					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations					 	
Traffic Vol, veh/h	0	13	18	0	2	0
Future Vol, veh/h	0	13	18	0	2	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	13	19	0	2	0
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	-	0	-	0	32	19
Stage 1	-	-	-	-	19	-
Stage 2	-	-	-	-	13	-
Critical Hdwy	-	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	0	-	-	0	982	1059
Stage 1	0	-	-	0	1004	-
Stage 2	0	-	-	0	1010	-
Platoon blocked, %		-	-			
Mov Cap-1 Maneuver	-	-	-	-	982	1059
Mov Cap-2 Maneuver	-	-	-	-	982	-
Stage 1	-	-	-	-	1004	-
Stage 2	-	-	-	-	1010	-
Approach	EB	WB		SB		
HCM Control Delay, s	0	0		8.7		
HCM LOS				A		
Minor Lane/Major Mvmt	EBT	WBT	SBLn1			
Capacity (veh/h)	-	-	982			
HCM Lane V/C Ratio	-	-	0.002			
HCM Control Delay (s)	-	-	8.7			
HCM Lane LOS	-	-	A			
HCM 95th %tile Q(veh)	-	-	0			

HCM 6th Signalized Intersection Summary

1: Brea Canyon Cut-off Rd & S. Diamond Canyon Rd/Fallow Field Dr

08/16/2024

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	23	7	28	12	3	57	30	1062	15	61	1246	34
Future Volume (veh/h)	23	7	28	12	3	57	30	1062	15	61	1246	34
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	24	7	29	12	3	59	31	1095	15	63	1285	35
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	401	70	289	82	41	279	392	1337	18	392	1316	36
Arrive On Green	0.22	0.22	0.22	0.22	0.22	0.22	0.22	0.37	0.37	0.22	0.37	0.37
Sat Flow, veh/h	1340	318	1316	135	187	1270	1781	3589	49	1781	3534	96
Grp Volume(v), veh/h	24	0	36	74	0	0	31	542	568	63	646	674
Grp Sat Flow(s),veh/h/ln	1340	0	1634	1593	0	0	1781	1777	1862	1781	1777	1853
Q Serve(g_s), s	0.0	0.0	1.4	0.0	0.0	0.0	1.1	22.0	22.0	2.3	28.7	28.7
Cycle Q Clear(g_c), s	0.9	0.0	1.4	3.0	0.0	0.0	1.1	22.0	22.0	2.3	28.7	28.7
Prop In Lane	1.00		0.81	0.16		0.80	1.00		0.03	1.00		0.05
Lane Grp Cap(c), veh/h	401	0	359	403	0	0	392	662	693	392	662	690
V/C Ratio(X)	0.06	0.00	0.10	0.18	0.00	0.00	0.08	0.82	0.82	0.16	0.98	0.98
Avail Cap(c_a), veh/h	401	0	359	403	0	0	392	662	693	392	662	690
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	24.7	0.0	24.9	25.5	0.0	0.0	24.8	22.7	22.7	25.2	24.7	24.8
Incr Delay (d2), s/veh	0.3	0.0	0.6	1.0	0.0	0.0	0.4	10.9	10.4	0.9	29.5	29.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.4	0.0	0.6	1.2	0.0	0.0	0.5	10.3	10.7	1.0	16.2	16.8
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	25.0	0.0	25.4	26.5	0.0	0.0	25.2	33.5	33.1	26.1	54.2	53.8
LnGrp LOS	C	A	C	C	A	A	C	C	C	C	D	D
Approach Vol, veh/h	60			74			1141			1383		
Approach Delay, s/veh	25.2			26.5			33.1			52.7		
Approach LOS	C			C			C			D		
Timer - Assigned Phs	1	2	4		5	6	8					
Phs Duration (G+Y+Rc), s	22.6	34.8	22.6		22.6	34.8	22.6					
Change Period (Y+Rc), s	4.0	4.0	4.0		4.0	4.0	4.0					
Max Green Setting (Gmax), s	18.6	30.8	18.6		18.6	30.8	18.6					
Max Q Clear Time (g_c+I1), s	4.3	24.0	3.4		3.1	30.7	5.0					
Green Ext Time (p_c), s	0.1	3.6	0.1		0.0	0.1	0.2					
Intersection Summary												
HCM 6th Ctrl Delay			43.0									
HCM 6th LOS			D									

HCM 6th TWSC

2: S. Diamond Canyon Rd & East Dwy

08/16/2024

Intersection						
Int Delay, s/veh	0					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	0	58	66	1	0	0
Future Vol, veh/h	0	58	66	1	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	60	68	1	0	0
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	-	0	-	0	129	69
Stage 1	-	-	-	-	69	-
Stage 2	-	-	-	-	60	-
Critical Hdwy	-	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	0	-	-	-	865	994
Stage 1	0	-	-	-	954	-
Stage 2	0	-	-	-	963	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	-	-	-	-	865	994
Mov Cap-2 Maneuver	-	-	-	-	865	-
Stage 1	-	-	-	-	954	-
Stage 2	-	-	-	-	963	-
Approach	EB	WB		SB		
HCM Control Delay, s	0	0		0		
HCM LOS				A		
Minor Lane/Major Mvmt	EBT	WBT	WBR	SBLn1		
Capacity (veh/h)	-	-	-	-		
HCM Lane V/C Ratio	-	-	-	-		
HCM Control Delay (s)	-	-	-	0		
HCM Lane LOS	-	-	-	A		
HCM 95th %tile O(veh)	-	-	-	-		

HCM 6th TWSC

3: S. Diamond Canyon Rd & West Dwy

08/16/2024

Intersection						
Int Delay, s/veh	0.5					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations					 	
Traffic Vol, veh/h	0	13	18	0	2	0
Future Vol, veh/h	0	13	18	0	2	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	13	19	0	2	0
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	-	0	-	0	32	19
Stage 1	-	-	-	-	19	-
Stage 2	-	-	-	-	13	-
Critical Hdwy	-	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	0	-	-	0	982	1059
Stage 1	0	-	-	0	1004	-
Stage 2	0	-	-	0	1010	-
Platoon blocked, %		-	-			
Mov Cap-1 Maneuver	-	-	-	-	982	1059
Mov Cap-2 Maneuver	-	-	-	-	982	-
Stage 1	-	-	-	-	1004	-
Stage 2	-	-	-	-	1010	-
Approach	EB	WB		SB		
HCM Control Delay, s	0	0		8.7		
HCM LOS					A	
Minor Lane/Major Mvmt	EBT	WBT	SBLn1			
Capacity (veh/h)	-	-	982			
HCM Lane V/C Ratio	-	-	0.002			
HCM Control Delay (s)	-	-	8.7			
HCM Lane LOS	-	-	A			
HCM 95th %tile O(veh)	-	-	0			

HCM 6th Signalized Intersection Summary

1: Brea Canyon Cut-off Rd & S. Diamond Canyon Rd/Fallow Field Dr

08/16/2024

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	53	11	69	12	6	57	66	1062	15	61	1246	60
Future Volume (veh/h)	53	11	69	12	6	57	66	1062	15	61	1246	60
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	55	11	71	12	6	59	68	1095	15	63	1285	62
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	401	48	308	80	54	269	392	1337	18	392	1285	62
Arrive On Green	0.22	0.22	0.22	0.22	0.22	0.22	0.22	0.37	0.37	0.22	0.37	0.37
Sat Flow, veh/h	1337	217	1401	127	247	1224	1781	3589	49	1781	3451	166
Grp Volume(v), veh/h	55	0	82	77	0	0	68	542	568	63	661	686
Grp Sat Flow(s),veh/h/ln	1337	0	1618	1597	0	0	1781	1777	1862	1781	1777	1840
Q Serve(g_s), s	0.0	0.0	3.3	0.0	0.0	0.0	2.5	22.0	22.0	2.3	29.7	29.8
Cycle Q Clear(g_c), s	2.0	0.0	3.3	3.1	0.0	0.0	2.5	22.0	22.0	2.3	29.7	29.8
Prop In Lane	1.00		0.87	0.16		0.77	1.00		0.03	1.00		0.09
Lane Grp Cap(c), veh/h	401	0	356	403	0	0	392	662	693	392	662	686
V/C Ratio(X)	0.14	0.00	0.23	0.19	0.00	0.00	0.17	0.82	0.82	0.16	1.00	1.00
Avail Cap(c_a), veh/h	401	0	356	403	0	0	392	662	693	392	662	686
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	25.1	0.0	25.6	25.5	0.0	0.0	25.3	22.7	22.7	25.2	25.1	25.1
Incr Delay (d2), s/veh	0.7	0.0	1.5	1.1	0.0	0.0	1.0	10.9	10.4	0.9	34.6	34.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.9	0.0	1.4	1.3	0.0	0.0	1.1	10.3	10.7	1.0	17.5	18.1
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	25.8	0.0	27.1	26.6	0.0	0.0	26.3	33.5	33.1	26.1	59.7	59.7
LnGrp LOS	C	A	C	C	A	A	C	C	C	C	E	F
Approach Vol, veh/h	137			77			1178			1410		
Approach Delay, s/veh	26.6			26.6			32.9			58.2		
Approach LOS	C			C			C			E		
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	22.6	34.8		22.6	22.6	34.8		22.6				
Change Period (Y+Rc), s	4.0	4.0		4.0	4.0	4.0		4.0				
Max Green Setting (Gmax), s	18.6	30.8		18.6	18.6	30.8		18.6				
Max Q Clear Time (g_c+I1), s	4.3	24.0		5.3	4.5	31.8		5.1				
Green Ext Time (p_c), s	0.1	3.6		0.4	0.1	0.0		0.2				
Intersection Summary												
HCM 6th Ctrl Delay	45.1											
HCM 6th LOS	D											

HCM 6th TWSC

2: S. Diamond Canyon Rd & East Dwy

08/16/2024

Intersection						
Int Delay, s/veh	0					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	0	133	66	68	0	0
Future Vol, veh/h	0	133	66	68	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	137	68	70	0	0
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	-	0	-	0	240	103
Stage 1	-	-	-	-	103	-
Stage 2	-	-	-	-	137	-
Critical Hdwy	-	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	0	-	-	-	748	952
Stage 1	0	-	-	-	921	-
Stage 2	0	-	-	-	890	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	-	-	-	-	748	952
Mov Cap-2 Maneuver	-	-	-	-	748	-
Stage 1	-	-	-	-	921	-
Stage 2	-	-	-	-	890	-
Approach	EB	WB		SB		
HCM Control Delay, s	0	0		0		
HCM LOS				A		
Minor Lane/Major Mvmt	EBT	WBT	WBR	SBLn1		
Capacity (veh/h)	-	-	-	-		
HCM Lane V/C Ratio	-	-	-	-		
HCM Control Delay (s)	-	-	-	0		
HCM Lane LOS	-	-	-	A		
HCM 95th %tile Q(veh)	-	-	-	-		

HCM 6th TWSC

3: S. Diamond Canyon Rd & West Dwy

08/16/2024

Intersection

Int Delay, s/veh 6.4

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↑	↑		↓	
Traffic Vol, veh/h	0	13	18	0	77	0
Future Vol, veh/h	0	13	18	0	77	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	13	19	0	79	0

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	-	0	32
Stage 1	-	-	19
Stage 2	-	-	13
Critical Hdwy	-	-	6.42
Critical Hdwy Stg 1	-	-	5.42
Critical Hdwy Stg 2	-	-	5.42
Follow-up Hdwy	-	-	3.518
Pot Cap-1 Maneuver	0	-	982
Stage 1	0	-	1004
Stage 2	0	-	1010
Platoon blocked, %	-	-	
Mov Cap-1 Maneuver	-	-	982
Mov Cap-2 Maneuver	-	-	982
Stage 1	-	-	1004
Stage 2	-	-	1010

Approach	EB	WB	SB
HCM Control Delay, s	0	0	9
HCM LOS			A

Minor Lane/Major Mvmt	EBT	WBT	SBLn1
Capacity (veh/h)	-	-	982
HCM Lane V/C Ratio	-	-	0.081
HCM Control Delay (s)	-	-	9
HCM Lane LOS	-	-	A
HCM 95th %tile Q(veh)	-	-	0.3

DAY CARE

7.1.d

Schedule of Classes

DAILY SCHEDULE CLASS OF PEACE					
PRE-K 4 YR OLD PROGRAM (WINTER)					
	Mon	Tues	Weds	Thurs	Fri
7:00-8:00	Early Drop Off				
8:00-8:30	Breakfast at Snack Tables				
8:30-8:40	Help Set Up Classroom				
8:40-9:00	Arrival				
9:00-9:30	Outdoor Play				
9:30-10:00	Morning Worship				
10:00-10:10	Restroom / Wash Hands				
10:10-10:45	Academic Lesson / Circle Time				
10:45-11:25	Hands on Work				
11:25-11:40	Bible				
11:40-11:45	Wash Hands				
11:45-12:30	Lunch				
12:30-1:00	Quiet Activities/ Book Reading				
1:00-3:00	Nap Time				
3:00-3:10	Wake up / Clean Up				
3:10-3:30	Snack Time				
3:30-4:00	Outdoor Play				
4:00-4:10	Wash Hands				
4:10-5:00	Chinese Lesson				
5:00-5:30	Free Play				
5:30-6:00	Pickup from Front Lobby				

DAILY SCHEDULE - CLASS OF JOY					
PRESCHOOL 2 YR OLD PROGRAM (WINTER)					
	Mon	Tues	Weds	Thurs	Fri
7:00-8:00	Early Drop Off / Arrival				
8:00-8:30	Breakfast at Snack Tables				
8:30-9:15	Educational Free Play & Learn				
9:20-9:50	Worship & Bible Stories				
9:50-10:00	Water Break & Change Shoes				
10:20-10:40	Outdoor Play				
10:40-10:50	Wash Hands / Diaper Change				
10:50-11:15	Academic Lesson & Circle Time				
11:15-11:30	Arts / Worksheet				
11:30-11:45	Fine Motor Play				
11:45-12:15	Lunch Time				
12:15-12:30	Diaper Change & Read Books				
12:30-3:00	Nap Time				
3:00-3:15	Water Break & Diaper Change				
3:15-3:45	Snack Time				
3:45-4:00	Wash Hands / Water Break				
4:00-4:30	Outdoor Play				
4:30-4:45	Chinese Lesson & Movement				
4:45-5:00	Chinese Worksheet / Hands on Activity				
5:00-5:15	Freeplay / Diaper Check				
5:15-5:45	Pick Up from Class of Patience				
5:45-6:00	Pick Up from Front Lobby				

- * Water breaks in between classroom transitions, and outside play.
 * Changes in outside play times in observance of weather.

DAILY SCHEDULE CLASS OF KINDNESS					
PRESCHOOL 3 YR OLD PROGRAM (WINTER)					
	Mon	Tues	Weds	Thurs	Fri
7:00-8:00	Early Drop Off / Arrival				
8:00-8:30	Breakfast / Educational Play & Learn				
8:30-9:00	Morning Exercise / Indoor				
9:00-9:15	Water, Hand Washing & Restroom				
9:15-9:30	Morning Worship				
9:30-9:40	Hand Washing and Water Break				
9:40-10:25	Morning Circle Time & Hands On				
10:30-11:00	Outdoor Activity				
11:00-11:10	Water, Hand Washing & Restroom				
11:10-11:50	Bible Lesson				
11:50-12:40	Lunch				
12:40-12:50	Restroom/ Story time				
12:50-3:00	Nap time				
3:00-3:10	Wake up, Clean Up, Water Break, Restroom				
3:10-3:45	Snack				
3:45-4:30	Chinese Lesson				
4:30-5:00	Outdoor Activity				
5:00-5:45	Structured Activity/ Centers/ Departure				

DAILY SCHEDULE CLASS OF GOODNESS					
PRESCHOOL 3 YR OLD PROGRAM (WINTER)					
	Mon	Tues	Weds	Thurs	Fri
7:00-8:00	Early Drop Off / Arrival				
8:00-8:30	Breakfast at Snack Tables				
8:30-9:15	Outdoor Exercise				
9:15-9:30	Morning Worship				
9:30-10:20	Outdoor Play				
10:20-10:30	Water Break / Hand Washing / Restroom				
10:30-11:00	Circle Time				
11:00-11:20	Table Work / Crafts				
11:20-11:30	Wash Hands				
11:30-12:00	Lunch				
12:15-3:00	Nap Time				
3:00-3:10	Water Break / Restroom				
3:10-3:20	Music Movement				
3:20-3:45	Bible Stories				
3:45-4:00	Snack Time				
4:00-4:30	Chinese Lesson				
4:30-5:00	Play Centers				
5:00-5:30	Outdoor Play				
5:30-6:00	Pickup from Front Lobby				

TK 1

Monday	Tuesday	Wednesday	Thursday	Friday
Student's arrive (7-8:40)	Student's arrive (7-8:40)	Student's arrive (7-8:40)	Student's arrive (7-8:40)	Student's arrive (7-8:40)
Class Rules (8:40-9:15)	Class Rules (8:40-9:15)	Class Rules (8:40-9:15)	Class Rules (8:40-9:15)	Class Rules (8:40-9:15)
Chapel (9:15-9:45)	Bible (8:45 - 9:30)	Bible (8:45 - 9:30)	Bible (8:45 - 9:30)	Bible (8:45 - 9:30)
Mother Goose (9:50 - 10:45)	Mother Goose (9:30 - 10:45)	Mother Goose (9:30 - 10:45)	Mother Goose (9:30 - 10:45)	Mother Goose (9:30 - 10:45)
Readiness Skills (Abeka) (10:45 - 11:00)	Readiness Skills (Abeka) (10:45 - 11:00)	Readiness Skills (Abeka) (10:45 - 11:00)	Readiness Skills (Abeka) (10:45 - 11:00)	Readiness Skills (Abeka) (10:45 - 11:00)
Restroom + Outdoor Recess (11:00 - 11:30)	Restroom + Outdoor Recess (11:00 - 11:30)	Restroom + Outdoor Recess (11:00 - 11:30)	Restroom + Outdoor Recess (11:00 - 11:30)	Restroom + Outdoor Recess (11:00 - 11:30)
Lunch (11:30 - 12:05)	Lunch (11:30 - 12:05)	Lunch (11:30 - 12:05)	Lunch (11:30 - 12:05)	Lunch (11:30 - 12:05)
Restroom (12:05-12:20)	Restroom (12:00-12:15)	Restroom (12:00-12:15)	Restroom (12:00-12:15)	Restroom (12:00-12:15)
Nap (12:30-2:00)	Nap (12:30-2:00)	Nap (12:30-2:00)	Nap (12:30-2:00)	Nap (12:30-2:00)
Wake up, clean up (2:00 - 2:15)	Wake up, clean up (2:00 - 2:15)	Wake up, clean up (2:00 - 2:15)	Wake up, clean up (2:00 - 2:15)	Wake up, clean up (2:00 - 2:15)
Snack + Outdoor Recess (2:20 - 2:55)	Snack + Outdoor Recess (2:20 - 2:55)	Snack + Outdoor Recess (2:20 - 2:55)	Snack + Outdoor Recess (2:20 - 2:55)	Snack + Outdoor Recess (2:20 - 2:55)
Lego (3:00 - 3:35)	Spanish (3:00 - 3:35)	Indoor PE (3:00 - 3:35)	Indoor PE (3:00 - 3:35)	Art (3:00 - 3:35)
Chinese (3:40 - 4:15)	Chinese (3:40 - 4:15)	Music (3:40 - 4:15)	Chinese (3:40 - 4:15)	Chinese (3:40 - 4:15)
Hands on Learning (4:20 - 4:40)	Hands on Learning (4:20 - 4:40)	Hands on Learning (4:20 - 4:40)	Hands on Learning (4:20 - 4:40)	Hands on Learning (4:20 - 4:40)
Indoor Play (4:40 - 6:00)				

TK 2

Monday	Tuesday	Wednesday	Thursday	Friday
Student's arrive (7-8:40)	Student's arrive (7-8:40)	Student's arrive (7-8:40)	Student's arrive (7-8:40)	Student's arrive (7-8:40)
Class Rules (8:40-9:15)	Class Rules (8:40-9:15)	Class Rules (8:40-9:15)	Class Rules (8:40-9:15)	Class Rules (8:40-9:15)
Chapel (9:15-9:45)	Bible (8:45 - 9:30)	Bible (8:45 - 9:30)	Bible (8:45 - 9:30)	Bible (8:45 - 9:30)
Mother Goose (9:50 - 10:45)	Mother Goose (9:30 - 10:45)	Mother Goose (9:30 - 10:45)	Mother Goose (9:30 - 10:45)	Mother Goose (9:30 - 10:45)
Readiness Skills (Abeka) (10:45 - 11:00)	Readiness Skills (Abeka) (10:45 - 11:00)	Readiness Skills (Abeka) (10:45 - 11:00)	Readiness Skills (Abeka) (10:45 - 11:00)	Readiness Skills (Abeka) (10:45 - 11:00)
Restroom + Outdoor Recess (11:00 - 11:30)	Restroom + Outdoor Recess (11:00 - 11:30)	Restroom + Outdoor Recess (11:00 - 11:30)	Restroom + Outdoor Recess (11:00 - 11:30)	Restroom + Outdoor Recess (11:00 - 11:30)
Lunch (11:30 - 12:05)	Lunch (11:30 - 12:05)	Lunch (11:30 - 12:05)	Lunch (11:30 - 12:05)	Lunch (11:30 - 12:05)
Restroom (12:05-12:20)	Restroom (12:00-12:15)	Restroom (12:00-12:15)	Restroom (12:00-12:15)	Restroom (12:00-12:15)
Nap (12:30-2:00)	Nap (12:30-2:00)	Nap (12:30-2:00)	Nap (12:30-2:00)	Nap (12:30-2:00)
Wake up, clean up (2:00 - 2:15)	Wake up, clean up (2:00 - 2:15)	Wake up, clean up (2:00 - 2:15)	Wake up, clean up (2:00 - 2:15)	Wake up, clean up (2:00 - 2:15)
Snack + Outdoor Recess (2:20 - 2:55)	Snack + Outdoor Recess (2:20 - 2:55)	Snack + Outdoor Recess (2:20 - 2:55)	Snack + Outdoor Recess (2:20 - 2:55)	Snack + Outdoor Recess (2:20 - 2:55)
Chinese (3:40 - 4:15)	Chinese (3:40 - 4:15)	Music (3:40 - 4:15)	Chinese (3:40 - 4:15)	Chinese (3:40 - 4:15)
Lego (3:00 - 3:35)	Spanish (3:00 - 3:35)	Indoor PE (3:00 - 3:35)	Indoor PE (3:00 - 3:35)	Art (3:00 - 3:35)
Hands on Learning (4:20 - 4:40)	Hands on Learning (4:20 - 4:40)	Hands on Learning (4:20 - 4:40)	Hands on Learning (4:20 - 4:40)	Hands on Learning (4:20 - 4:40)
Indoor Play (4:40 - 6:00)				

Kindergarten

Monday	Tuesday	Wednesday	Thursday	Friday
Student's arrive (7-8:30)	Student's arrive (7-8:30)	Student's arrive (7-8:30)	Student's arrive (7-8:30)	Student's arrive (7-8:30)
English Language (8:30-9:15)	English Language (8:30-10:30)	English Language (8:30-10:30)	English Language (8:30-10:30)	English Language (8:30-10:30)
Chapel (9:15-9:45)				
English Language (9:45-10:30)				
Outdoor Recess (10:30-10:55)				
Math (11:00-12:00)	Math (11:00-12:00)	Math (11:00-11:30)	Math (11:00-12:00)	Math (11:00-11:30)
		Bible (11:30-12:10)		Bible (11:30-12:10)
Lunch + Outdoor Recess (12:00-12:45)	Lunch + Outdoor Recess (12:00-12:45)	Lunch + Outdoor Recess (12:15-1:00)	Lunch + Outdoor Recess (12:00-12:45)	Lunch + Outdoor Recess (12:15-1:00)
Chinese (12:45-1:25)	Chinese/ Bible (12:45-1:25)	Spanish (1:00-1:50)	Chinese (12:45-1:25)	Art (1:00-1:50)
Science (1:35-2:15)	History (1:35-2:15)		Health and Safety (1:35-2:15)	
Intro to Music/ Choir (2:20-3:00)	Indoor PE (2:20-3:00)	Community (1:55-3:00)	Indoor PE (2:20-3:00)	Chinese/ Bible (2:20-3:00)
AFTERSCHOOL				
Snack (3:00-3:30)				
Homework time/ Enrichment Classes (3:30-5:00)				
Free play/ Enrichment Classes (5:00-6:00)				

First Grade

Monday	Tuesday	Wednesday	Thursday	Friday
Student's arrive (7-8:30)	Student's arrive (7-8:30)	Student's arrive (7-8:30)	Student's arrive (7-8:30)	Student's arrive (7-8:30)
English Language (8:30-9:15)	English Language (8:30-10:30)	English Language (8:30-10:30)	English Language (8:30-10:30)	English Language (8:30-10:30)
Chapel (9:15-9:45)				
English Language (9:45-10:30)				
Outdoor Recess (10:30-10:55)				
Math (11:00-12:00)	Math (11:00-12:00)	Math (11:00-11:30)	Math (11:00-12:00)	Math (11:00-11:30)
		Bible (11:30-12:10)		Bible (11:30-12:10)
Lunch + Outdoor Recess (12:00-12:45)	Lunch + Outdoor Recess (12:00-12:45)	Lunch + Outdoor Recess (12:15-1:00)	Lunch + Outdoor Recess (12:00-12:45)	Lunch + Outdoor Recess (12:15-1:00)
Science (12:45-1:25)	History (12:45-1:25)	Community (1:00-1:50)	Health and Safety (12:45-1:25)	Art (1:00-1:50)
Chinese (1:35-2:15)	Chinese/Bible (1:35-2:15)		Chinese (1:35-2:15)	
Intro to Music/ Choir (2:20-3:00)	Indoor PE (2:20-3:00)	Spanish (1:55-2:50)	Indoor PE (2:20-3:00)	Chinese/ Bible (2:00-3:00)
AFTERSCHOOL				
Snack (3:00-3:30)				
Homework time/ Enrichment Classes (3:30-5:00)				
Free play/ Enrichment Classes (5:00-6:00)				

2nd

Monday	Tuesday	Wednesday	Thursday	Friday
Student's arrive (7-8:30)	Student's arrive (7-8:30)	Student's arrive (7-8:30)	Student's arrive (7-8:30)	Student's arrive (7-8:30)
English Language (8:30-9:15)	English Language (8:30-10:00)	English Language (8:30-10:00)	English Language (8:30-10:00)	English Language (8:30-10:00)
Chapel (9:15-9:45)				
English Language (9:45-10:00)				
Outdoor Recess (10:00-10:30)				
Math (10:30-12:00)	Math (10:30-12:00)	Bible (10:30-11:30)	Math (10:30 - 12:00)	Bible (10:30-11:30)
Lunch + Outdoor Recess (12:00-12:45)	Lunch + Outdoor Recess (12:00-12:45)	Lunch + Outdoor Recess (12:15-1:00)	Lunch + Outdoor Recess (12:00-12:45)	Lunch + Outdoor Recess (12:15-1:00)
Intro to Music/ Choir (12:45-1:25)	Indoor PE (12:45-1:25)	Community (1:00-1:50)	Indoor PE (12:45-1:25)	Chinese/ Bible (1:00-2:00)
Science (1:35-2:15)	History (1:35-2:15)		Health and Safety (1:35-2:15)	
Chinese (2:20-3:00)	Chinese (2:20-3:00)	Spanish (1:55-2:50)		Chinese (2:20-3:00)
AFTERSCHOOL				
Snack (3:00-3:30)				
Homework time/ Enrichment Classes (3:30-5:00)				
Free play/ Enrichment Classes (5:00-6:00)				

CITY OF DIAMOND BAR
COMMUNITY DEVELOPMENT DEPARTMENT

PROPERTY LOCATION									
PLANNING COMMISSION REVIEW	File #	AP	Applicant	PC 11/26/24	CC 12/03/24	PC 12/10/24	CC 12/17/24	PC 01/14/25	CC 01/21/25
3333 Diamond Canyon Rd (Child Day Care Center)	CUP PL2024-15	MN	Kingdom Seed Academy	PH					
ADMINISTRATIVE REVIEW									
Property Location		AP	Applicant						
None									
PENDING ITEMS									
Property Location	File #	AP	Applicant	Status					
1024 Brea Canyon Road (Modify existing convenience store's Alcoholic Beverage Control license to permit sale of beer, wine and distilled spirits (ABC type 21 license))	CUP/PCN PL2024-64	DT	Michael Zavaro	Under Review					
2725 Clear Creek (New Single-Family Residence)	DR PL2022-74	DT	Diane Shi	Under Review					
2000 Chestnut Creek (New Single-Family Residence)	DR MCUP PL2024-7	DT	Claire Lee	First incomplete letter sent 2/22/24 – waiting for additional information					
2001 Derringer Lane (2-lot subdivision)	TPM 83036 PL2021-46	MN	Gurbachan S. Juneja	Fifth incomplete letter sent 7/30/24 - waiting for additional information					
334 S. Diamond Bar Blvd (Banquet)	CUP PL2024-76	MN	Jason Lee for Black Canvas South	Under Review					
Gentle Springs Ln. and S. Prospectors Rd.	GPA, ZC, VTTM, DR PL2021-23	GL/DT	Tranquil Garden LLC	First incomplete letter sent 4/16/21 – waiting for additional information					
1134 Hedgewood (Addition and remodel to single-family residence)	MCUP PP PL2024-78	RL/MN	Dennis Pagoulatos	Under Review					
2521 Indian Creek (New single-family residence)	DR & TP PL2024-65	RL/MN	Philip K. Chan	First incomplete letter sent 10/28/24 – waiting for additional information					

LEGEND

PH = PUBLIC HEARING
AP = ASSIGNED PLANNER
PC = PLANNING COMMISSION
CC = CITY COUNCIL
D = DISCUSSION ITEM

PENDING ITEMS (continued)				
Property Location	File #	AP	Applicant	Status
22909 Lazy Trail Rd. (Addition and remodel to single family residence)	DR, MCUP PL2021-05	DT	Walt Patroske	Under Review
1829 Los Cerros Drive (Addition and remodel to single-family residence)	DR PL2023-46	DT	Raz Grinbaum	Under Review
2235 Morning Canyon Rd. (20-unit condos)	TTM 83836, DR, TP PL2022-89	MN	Max Yang	Under Review
23901 Ridge Line (2-lot Subdivision)	TPM PL2022-119	DT	Pete Volbeda	Second incomplete letter sent 12/5/23 – waiting for additional information
2631 Rocky Trail (Addition and remodel to single-family residence)	DR PL2024-43	DT	Katy Liu	Second incomplete letter sent 9/12/24 - waiting for additional information
Citywide Objective Design Standards	DCA PL2024-51	MN/GL	City of Diamond Bar	Under Review
SB9 Ordinance	DCA PL2019-43	MN	City of Diamond Bar	Under Review
Walnut Valley Unified School District (Billboard Ordinance)	DCA PL2024-40	DT/GL	WVUSD	First incomplete letter sent 7/1/24 - waiting for additional information