



City of Diamond Bar Planning Commission Agenda

Naila Barlas, Chair
Brian Worthington, Vice Chair
Surendra Mehta, Commissioner
Ruben Torres, Commissioner
William Rawlings, Commissioner

Meeting Date: Tuesday, September 23, 2025

Regular Meeting 6:30 p.m.

Diamond Bar City Hall – Windmill Community Room
21810 Copley Drive, Diamond Bar CA 91765

WELCOME TO A MEETING OF THE DIAMOND BAR PLANNING COMMISSION

Meetings are open to the public, and you are invited to attend and participate.

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RESOURCES

Copies of agendas and agenda packets are on file and available for public inspection in the Planning Division of the Community Development Department at 21810 Copley Drive, Diamond Bar, CA 91765 or online at www.diamondbarca.gov/agendas. For more information about the agendas or rules of the Planning Commission, please [email the Community Development Department](mailto:commdev@diamondbarca.gov) (commdev@diamondbarca.gov) or call 909-839-7030.

AMERICANS WITH DISABILITY ACT ACCOMMODATION

In compliance with the Americans with Disabilities Act, if you need special assistance, a disability-related modification or accommodation, agenda materials in an alternative format, or auxiliary aids to participate in this meeting, please [email the Community Development Department](mailto:commdev@diamondbarca.gov) (commdev@diamondbarca.gov) or call 909-839-7030 as soon as possible. Providing at least 72 hours' notice will help ensure that reasonable arrangements can be made.

PUBLIC INPUT

The public may provide public comment by attending the meeting in person, by sending an email, or by logging into the teleconference. Please [email the Community Development Department](mailto:commdev@diamondbarca.gov) (commdev@diamondbarca.gov) by 4:00 p.m. on the day of the meeting and indicate in the Subject Line "FOR PUBLIC COMMENT." Written comments will be distributed to the Planning Commission Member and noted for the record at the meeting. Please note that the meeting will proceed at

Diamond Bar City Hall – Windmill Community Room should comments by teleconferencing become infeasible due to an internet or power outage or due to technical problems outside the City's control. If you wish to make certain that your comments are heard, please attend the meeting in person or send an email by 4:00 p.m. on the day of the meeting/hearing.

Speakers are limited to five (5) minutes per agenda item, unless the Chairperson determines otherwise. The Chairperson may adjust this time limit depending on the number of people wishing to speak, the complexity of the matter, the length of the agenda, the hour and any other relevant consideration. Speakers may address the Planning Commission only once on an agenda item, except during public hearings, when the applicant/appellant may be afforded a rebuttal. Any material to be submitted to the Planning Commission at the meeting should be submitted through the Administrative Coordinator.

Public comments must be directed to the Planning Commission. A person who disrupts the orderly conduct of the meeting after being warned by the Chairperson or the Chairperson's designee that their behavior is disrupting the meeting may result in the person being removed from the meeting.

1. CALL TO ORDER: 6:30 p.m., Windmill Room**PLEDGE OF ALLEGIANCE:**

ROLL CALL: Commissioners Torres, Rawlings, Mehta, Vice Chair Worthington, Chair Barlas

APPROVAL OF AGENDA: Chair

2. PUBLIC COMMENTS:

"Public Comments" is the time reserved on each regular meeting agenda to provide an opportunity for members of the public to directly address the Planning Commission on Consent Calendar items or other matters of interest not on the agenda that are within the subject matter jurisdiction of the Planning Commission. Although the Planning Commission values your comments, pursuant to the Brown Act, members of the Planning Commission may briefly respond to public comments if necessary, but no extended discussion and no action on such matters may take place. There is a five-minute maximum time limit when addressing the Planning Commission.

3. CONSENT CALENDAR:

All items listed on the Consent Calendar are considered by the Planning Commission to be routine and will be acted on by a single motion unless a Planning Commission Member or member of the public request otherwise, in which case, the item will be removed for separate consideration.

3.1 August 12, 2025 Planning Commission Meeting Minutes**Recommended Action:**

Staff recommends that the Planning Commission approve the August 12, 2025, Planning Commission meeting minutes.

4. OLD BUSINESS:**5. NEW BUSINESS:****6. PUBLIC HEARINGS:**

- 6.1 Development Review and Minor Conditional Use Permit No. PL2025-17:** Under the authority of DBCC Section 22.48, 22.56 and 22.68, the property owner, Vishal Kaushal, and applicant, Pete Volbeda, are requesting Development Review approval to remodel and expand an existing 5,071 square-foot two-story single-family residence on a 1.89-acre lot. The project includes first- and second-level additions, construction of a new third level and interior renovations. A Minor Conditional Use Permit is also requested to continue an existing nonconforming front setback of 20 feet 5 inches, where 30 feet is required. The subject property is zoned Rural Residential (RR) with an underlying General Plan land use designation of Rural Residential.

PROJECT ADDRESS: 2151 Derringer Lane
Diamond Bar, CA 91765
APN: 8713-034-028

APPLICANT: Pete Volbeda
215 N. 2nd Avenue, Suite B
Upland, CA 91786

PROPERTY OWNER: Vishal Kaushal
2151 Derringer Lane
Diamond Bar, CA 91765

Environmental Assessment:

This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). Based on that assessment, the City has determined the project to be Categorically Exempt from the provisions of CEQA pursuant to the provisions of Article 19 Section 15301(e) (additions to existing structures) of the CEQA Guidelines. No further environmental review is required.

Recommended Action:

Adopt the attached Resolution (Attachment A) approving Development Review and Minor Conditional Use Permit No. PL2025-17, based on the findings of Diamond Bar City Code (DBCC) Sections 22.48, 22.56 and 22.68, subject to conditions.

7. PLANNING COMMISSION COMMENTS/INFORMATION ITEMS:

8. STAFF COMMENTS/INFORMATIONAL ITEMS:

8.1 Project Status Report

Recommended Action:

Staff recommends the Planning Commission receive and file the Project Status Report dated September 23, 2025.

9. SCHEDULE OF FUTURE EVENTS:

- 9.1 City Council Meeting - October 7, 2025 - 6:30 p.m., online teleconference and SCAQMD Main Auditorium, 21865 Copley Dr.
- 9.2 Planning Commission Meeting - October 14, 2025 - 6:30 p.m., online teleconference and City Hall Windmill Room, 21810 Copley Dr.
- 9.3 City Council Meeting - October 21, 2025 - 6:30 p.m., online teleconference and SCAQMD Main Auditorium, 21865 Copley Dr.
- 9.4 Planning Commission Meeting - October 28, 2025 - 6:30 p.m., online teleconference and City Hall Windmill Room, 21810 Copley Dr. (Cancelled)

10. ADJOURNMENT:

CERTIFICATION

I, Arlene Laviera, Administrative Coordinator, City of Diamond Bar, hereby certify, under penalty of perjury under the laws of the State of California that the foregoing notice was posted pursuant to Government Code Section 54950 Et. Seq., not less than 72 hours prior to the meeting, at the following locations: Diamond Bar City Hall Kiosk, Diamond Bar City Hall Bulletin Board, City website: www.diamondbarca.gov, and Diamond Bar Library.

Arlene Laviera

Administrative Coordinator

Date Posted: September 18, 2025



PLANNING COMMISSION AGENDA REPORT

TO: Chair and Members of the Planning Commission

FROM: Greg Gubman, Community Development Director

SUBJECT: August 12, 2025 Planning Commission Meeting Minutes

RECOMMENDATION:

Staff recommends that the Planning Commission approve the August 12, 2025, Planning Commission meeting minutes.

BACKGROUND/DISCUSSION:

Minutes have been prepared and are being presented for approval.

PREPARED BY:

Arlene Laviera, Administrative Coordinator, Community Development

ATTACHMENTS:

1. 08-12-25 pcmin

**MINUTES OF THE CITY OF DIAMOND BAR
REGULAR MEETING OF THE PLANNING COMMISSION
August 12, 2025**

CALL TO ORDER:

C/Barlas called the meeting to order at 6:31 p.m. in the Windmill Community Room, 21810 Copley Drive, Diamond Bar, CA 91765.

PLEDGE OF ALLEGIANCE: Commissioner Torres

1. ROLL CALL: Mehta, Rawlings, Torres, C/Barlas

ABSENT: V/C Worthington

STAFF PRESENT: Greg Gubman, Community Development Director, Rudy Lopez, Assistant Planner; Marcy Hilario, Administrative Coordinator; and James H. Eggart, City Attorney

3. PUBLIC COMMENTS: None.

4. CONSENT CALENDAR:

4.1 **MINUTES OF THE PLANNING COMMISSION REGULAR MEETING** – July 8, 2025.

Rawlings moved, and Torres seconded to approve consent calendar. Motion carried 4-0-0-1 by the following Roll Call vote:

AYES: 4 COMMISSIONERS: Mehta, Rawlings, Torres, C/Barlas
NOES: 0 COMMISSIONERS: None
ABSTAIN: 0 COMMISSIONERS: None
ABSENT: 1 COMMISSIONERS: V/C Worthington

5. OLD BUSINESS:

6. NEW BUSINESS:

7. PUBLIC HEARING:

Development Review PL2024-82: Under the authority of DBCC Section 22.48, the property owner, William and Renjielyn Lu, and applicant, Samuel Chen, are requesting Development Review approval for the construction of a new 8,143 square-foot, three-story, single-family residence with a 1,699 square-foot garage, 805 square feet of balcony area, 648 square feet of covered patio area, 110 square feet of porch area, swimming pool and rear yard improvements on a 57,060 gross square-foot (1.31 gross acre) undeveloped lot.

PROJECT ADDRESS: 2234 Indian Creek Road, Diamond Bar, CA 91765 (APN:8713-040-029)

APPLICANT: Samuel Chen, 424 32nd Street, Suite F, Newport Beach, CA 92263

PROPERTY OWNER: William and Renjielyn Lu, 2234 Indian Creek Road, Diamond Bar, CA 91765

ENVIRONMENTAL DETERMINATION: This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). Based on that assessment, the City has determined the project to be Categorically Exempt from the provisions of CEQA pursuant to the provisions of Article 19 Section 15303(a) (construction of a new single-family residence) of the CEQA Guidelines. No further environmental review is required.

The Commission and staff discussed maintenance of the rear slope and any view impact to neighbors. The landscape plan was also discussed, as well as any future plans to build on additional land at the rear of the structure.

Rawlings moved, and Torres seconded to adopt Resolution No. 2025-14 to approve Development Review PL2024-82 subject to the conditions of approval. Motion carried 4-0-0-1 by the following Roll Call vote:

AYES:	4	COMMISSIONERS:	Rawlings, Torres, Mehta, Barlas
NOES:	0	COMMISSIONERS:	None
ABSTAIN:	0	COMMISSIONERS:	None
ABSENT:	1	COMMISSIONERS:	Worthington

8. **PLANNING COMMISSION COMMENTS/INFORMATION ITEMS:**

9. **STAFF COMMENTS/INFORMATIONAL ITEMS:**

CDD/Gubman informed the Commission that the Town Center Specific Plan/EIR will be ready for public review on August 25, 2025. There will be a 45-day review period, any comments must be received in writing.

10. **SCHEDULE OF FUTURE EVENTS:**

As noted in the agenda.

ADJOURNMENT: With no further business before the Planning Commission, C/Barlas adjourned the Regular Planning Commission meeting at 6:51 p.m. to the regularly scheduled

meeting on Tuesday, September 9, 2025.

The foregoing minutes are hereby approved this 23rd day of September, 2025.

Attest:
Respectfully Submitted,

Greg Gubman, Community Development Director

Naila Barlas, Chair



PLANNING COMMISSION AGENDA REPORT

CASE/FILE NUMBER:	Development Review and Minor Conditional Use Permit No. 2025-17
PROJECT LOCATION:	2151 Derringer Lane Diamond Bar, CA 91765 APN: 8713-034-028
GENERAL PLAN DESIGNATION:	Rural Residential (RR)
ZONING DISTRICT:	Rural Residential (RR)
PROPERTY OWNER:	Vishal Kaushal 2151 Derringer Lane Diamond Bar, CA 91765
APPLICANT:	Pete Volbeda 215 North 2nd Avenue Suite B Upland, CA 91786

SUMMARY:

The matter was originally scheduled for hearing on September 9, 2025. However, due to a lack of quorum, the meeting was adjourned pursuant to Government Code Sections 54955 and 54955.1, and all business items were rescheduled to September 23, 2025.

The applicant is requesting Development Review (DR) approval to remodel the exterior and construct a 437 square-foot addition to the first level, a 1,190 square-foot addition to the second level, a new 1,039 square-foot third level, a 1,377 square-foot first-level patio cover, 1,190 square feet of balcony area, and an interior remodel to an existing 5,071 square-foot two-story single-family residence on a 1.89 gross acre lot. A Minor Conditional Use Permit is requested to allow the continuation of an existing nonconforming structure with a 20'-5" front setback (where 30 feet is required).

RECOMMENDATION:

Adopt the attached Resolution (Attachment A) approving Development Review and Minor Conditional Use Permit No. PL2025-17, based on the findings of Diamond Bar City Code (DBCC) Sections 22.48, 22.56 and 22.68, subject to conditions.

BACKGROUND:

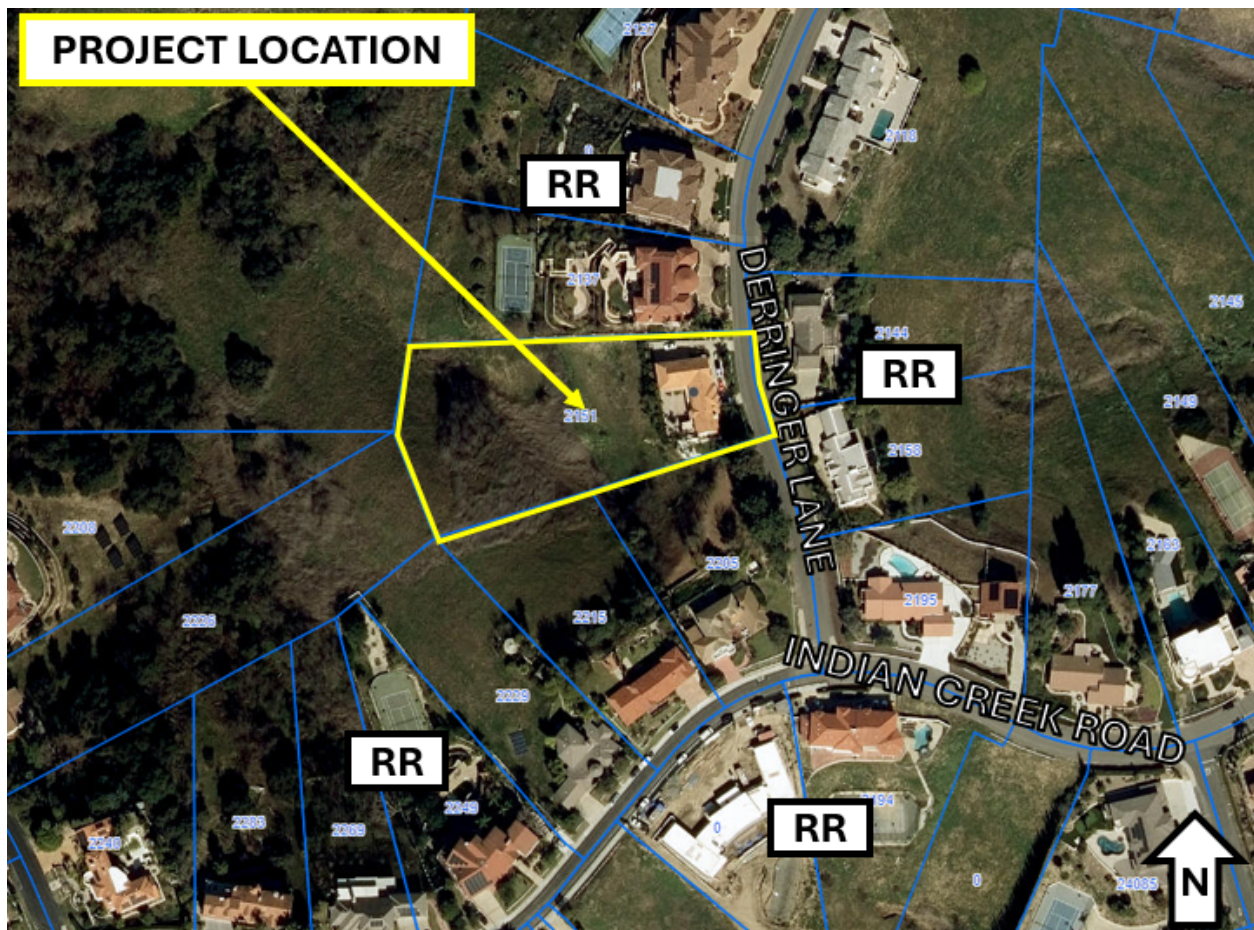
The project site is located in the Diamond Bar Country Estates (The Country), on the west side of Derringer

Lane, north of Indian Creek Road and south of Lodge Pole Road. The property was developed in 1977 with a 3,508 square-foot two-story home and an attached 652 square-foot three-car garage. On November 9, 2004, the Planning Commission approved a Development Review and Minor Conditional Use Permit application to expand into a 5,071 square-foot, two-story home and an attached 1,200 square-foot three-car garage. There are no protected trees onsite.

The property is legally described as Lot 54 of Tract No. 23483, and the Assessor's Parcel Number (APN) is 8713-034-028.

Site and Surrounding General Plan, Zoning and Land Uses

The image below highlights the subject property:



Site (Plan View) Aerial



Project Site



Adjacent Property to the North



Adjacent Property to the South

The following table summarizes the land use status of the subject property and its surroundings:

General Plan Designation		Zoning District	Land Use
Site	Rural Residential	RR	Single-Family Residential
North	Rural Residential	RR	Single-Family Residential
South	Rural Residential	RR	Single-Family Residential
East	Rural Residential	RR	Single-Family Residential
West	Rural Residential	RR	Park & Single-Family Residential

Project Description

Site Plan

The property's gross lot area is 82,328 square feet (1.89 acres), which includes a 32-foot-wide private street easement along the frontage of Derringer Lane. The property is an irregular-shaped lot with a net buildable area (i.e., minus the private street easement) of 78,844 square feet (1.81 acres). The property is a hillside property with a descending slope at 18.7 percent that starts from the private street easement to the rear property line.

The proposed house is situated 20'-5" from the edge of the private street easement line along Indian Creek Road. The entrance to the residence faces Derringer Lane and a circular driveway provides access to a three-car garage.

The addition will be built directly above and extend the existing footprint of the house towards the rear of the property. The existing residence has a nonconforming front setback of 21'-5" (where 30 feet is required). Because the addition is located at the rear and directly above the existing footprint, and does not extend toward the front of the structure, the front setback will remain unchanged. As the front setback does not comply with current development standards, the residence is classified as a "nonconforming structure" pursuant to DBCC Section 22.68.030.

Grading Plan

As previously noted, the existing residence is a two-story structure. The proposed three-level addition will be built directly above and extend the building's footprint toward the rear of the property while maintaining a minimum rear yard setback of 25 feet. Minimal grading will be required, limited to excavation for footings and foundation work, as the addition will be constructed entirely on the existing building pad.

Architecture

The architectural style of the existing home is a Mediterranean design with a balanced façade, low-pitched tiled roof, corbels beneath the eave, arched entryway, recessed windows, decorative wrought-iron railings, and decorative trim surrounding the doors and windows. Building materials consist of clay S-tile roofing, smooth stucco walls, decorative stucco trim and corbels, wrought-iron details for balcony railings and ornamental grilles, and vinyl windows with metal frames that provide articulation and depth across the façade. The palette of exterior finish materials are earth-toned shades to preserve the hillside's aesthetic.

The applicant is still in the process of obtaining approval from The Diamond Bar Country Estates Association.



Proposed Northwest (Front) Elevation

The proposed remodel and addition are comprised of the following components:

- First (Lower) Level – Extension of the existing recreation room with a storage closet, game room with a bathroom, laundry room, and storage closet (three-car garage, walk-in linen room, and two bedrooms with walk-in closets and one bathroom that are existing will remain).
- Second (Street) Level – New common areas (dining room, living room, family room, kitchen, pantry room, puja room, laundry room, office, two storage closets and a powder room), new master suite with a bathroom and walk-in closet, and a new bedroom with a bathroom and walk-in closets.
- Third Level – New loft and two bedrooms with a bathroom and walk-in closets.
- Balcony/covered patio areas totaling 2,567 square feet are proposed throughout the three levels of the residence.

The floor area distribution is summarized below:

PROJECT SUMMARY (square footage)

<u>Living Area</u>		7,902
	1,833	
1. First (Lower) Level (Existing)	437	
2. First (Lower) Level (Proposed)	3,238	
3. Second (Street) Level (Existing)	1,190	
4. Second (Street) Level (Proposed)	1,204	
5. Third Level (Proposed)		
<u>Non-Livable Area</u>		3,767
	1,200	
1. Garage (Existing)	1,190	
2. Balconies (Proposed)	1,377	
3. Covered Patios (Proposed)		
TOTAL FLOOR AREA		11,669

The height of the building is 33 feet and four inches, measured from the finished grade to the highest point of the roofline.

Landscape Plan

As aforementioned, there are no protected trees on site. In addition, there is no new landscaping being proposed. All existing landscaping currently on site will remain.

ANALYSIS:

Review Authority

The proposed project requires Planning Commission review and approval of two entitlement applications: Development Review (DR) and Minor Conditional Use Permit (MCUP). The analysis that follows provides the basis for staff's recommendation to approve the DR and MCUP applications.

Development Review (DBCC Chapter 22.48)

Additions which are equal to or greater than 50 percent of the existing habitable floor area of all existing structures on site, or substantially change the appearance of an existing residence require Planning Commission approval of a DR application. Development Review approval is required to ensure compliance with the City's General Plan policies and design guidelines, and to minimize adverse effects of the proposed project upon the surrounding properties and the City in general.

As stated in Section 22.48.010 of the Development Code, the Development Review process was established to ensure that new development and additions to existing development are consistent with the General Plan "through the promotion of high functional and aesthetic standards to complement and add to the economic, physical, and social character" of Diamond Bar.

Development Standards: The following table compares the proposed project with the City's development standards for residential development in the RR zone:

Development Feature	Residential Development Standards	Existing	Proposed	Meets Requirements
Front Setback	30 feet	20'-5"	20'-5"	*No
Side Setbacks	15 feet on one side, 10 feet on the other	north side – 36'-2" south side – 17'-6"	north side – 36'- 2" south side – 17'-6"	Yes

Side Yard Minimum Between Adjoining Structures	25 feet	50'-7" – north side 200 feet – south side	50'-7" – north side 200 feet – south side	Yes
Rear Setback	25 feet	149'-11"	138'-5"	Yes
Lot Coverage	Maximum of 30%	4.7%	6.6%	Yes
Max. Building Height	35 feet	25'-3"	33'-4"	Yes
Parking	2-car garage	3-car garage	3-car garage	Yes
Retaining Wall Height	4-foot exposed (supporting fill)	4-foot exposed (supporting fill)	None	Yes

*Minor Conditional Use Permit is requested to allow the expansion of a nonconforming structure. See MCUP discussion below.

Minor Conditional Use Permit (DBCC Chapter 22.56)

An MCUP is required if a change or expansion of a nonconforming structure is greater than 50 percent of the existing square footage of all structures on site, or if the addition is not limited to the ground floor. As stated, the existing residence has the following nonconforming setbacks:

- 20'-5" front setback (where 30 feet is required).

The proposed addition will be built directly above and extend the existing footprint of the house towards the rear of the property and does not further encroach into the nonconforming front setback.

The City supports homeowners' efforts to make appropriate improvements to their properties, and recognizes that reasonable accommodations should be made to permit additions and alterations to nonconforming structures. The MCUP process is the tool used to consider such accommodations, subject to the findings set forth in the Development Code.

MCUPs are normally subject to approval of the City's Hearing Officer (typically the Community Development Director). However, because this MCUP is being reviewed as part of a DR application, both land use entitlements are subject to review and approval of the Planning Commission.

Staff believes that approving the MCUP as described above is appropriate and compatible with other residences in the neighborhood, based on the following facts and observations:

- The existing dwelling was built in 1977, prior to the incorporation of the City of Diamond Bar;
- An MCUP was approved by the Planning Commission on November 9, 2004, to allow the continuation of the nonconforming front setback in conjunction with a two-level addition;
- The proposed addition complies with the required rear setbacks, side setbacks and distances to the adjacent properties, and does not further encroach into the existing nonconforming front setback;
- The proposed addition is located throughout the existing footprint and along the rear of the house; and
- Neighboring properties have similar nonconforming front setbacks, so the proposed project will remain consistent with other homes within the neighborhood.

Compliance with Hillside Management Ordinance (DBCC Section 22.22)

The proposed project was reviewed for compliance with the City's Hillside Management Design Guidelines and regulations. The project complies with all of the regulations and guidelines to ensure that development will complement the character and topography of hillside areas set forth in the Development Code, and

incorporates the following features:

- The maximum building height is 33'-4", where 35 feet is allowed;
- Architectural treatment is provided on all sides of the building with varying setbacks and projections;
- Earth tone building materials and color schemes are used that blend in with the natural landscape.

The project complies with all of the regulations and guidelines to ensure that development will complement the character and topography of hillside areas set forth in the Development Code.

Compatibility with Neighborhood

The existing house is located on an existing flat pad and the addition will be built directly above and extend the existing footprint of the house towards the rear of the property. The project site is located between two, multi-story homes. The proposed addition will not be intrusive to neighboring homes since the proposed addition will not block existing views from adjacent properties. The property to the north will continue to have views of the vista from their rear yard to the west. The property to the south will continue to have views of the vista from their rear yard to the northwest. All properties to the east, which are directly across the street from the subject property, will continue to have views of the vista from their rear yard to the east.



Aerial View of Project Site and Adjacent Properties

With respect to privacy, the proposed third-level will not be intrusive to neighboring properties (2250 Indian Creek Road & 2137 Derringer Lane) for the following reasons:

- **2205 Indian Creek Road:** The proposed third level is located approximately 200 feet from 2205 Indian Creek Road. There are existing dense tall trees and 2205 Indian Creek Road is situated on a higher elevation than the subject property which prevents any direct line of sight from the addition on the third level (see the image on the following page for reference); and



Aerial View of Project Site from 2205 Indian Creek Road

- **2137 Derringer Lane:** The only portion of the third level visible from 2137 Derringer Lane is the proposed third-level balcony. The proposed balcony on the third level is oriented predominantly west, toward the vista. Additionally, there is an existing balcony on the second level at an approximately identical location (see the image on the following page for reference). Therefore, the proposed balcony on the third level will not have greater impacts for privacy than what currently exists.



Aerial View of 2137 Derringer Lane from Project Site

The proposed addition is comparable in mass and scale to existing homes on similar lots in The Country. The architecture in The Country is eclectic, and includes a variety of architectural designs. The scale and proportions of the proposed home are well balanced and appropriate for the site. In sum, the proposed project has been carefully designed to maintain neighborhood scale and character, and minimize any adverse effects on adjacent residences.

The project also incorporates the principles of the City's Residential Design Guidelines as follows:

- The proposed addition will conform to all development standards, including building height, lot coverage and setbacks (with the exception of the existing nonconforming front setback of 20'-5", which is consistent with other homes near the subject property);
- A gradual transition between the project and adjacent uses is achieved through appropriate setbacks, building height, landscaping, and window and door placement;
- The proposed remodel and addition are appropriate in mass and scale to the site;
- Elevations are treated with detailed architectural elements;
- The exterior finish materials and colors blend with the natural environment;
- The proposed addition will not obstruct views of the vista or create a privacy concern for nearby properties.

Additional Review

The Public Works Department and Building and Safety Division reviewed this project, and their comments are included in the attached resolution as conditions of approval.

NOTICE OF PUBLIC HEARING:

On August 29, 2025, public hearing notices were mailed to property owners within a 1,000-foot radius of the project site. The notice was submitted to the *San Gabriel Valley Tribune* newspaper for publication on August 29, 2025. A notice display board was posted at the site, and a copy of the notice was posted at the City's designated community posting sites.

PUBLIC COMMENTS RECEIVED:

No comments have been received as of the publication date of this report.

ENVIRONMENTAL ASSESSMENT:

This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). Based on that assessment, the City has determined the project to be Categorical Exempt from the provisions of CEQA pursuant to the provisions of Article 19 Section 15301(e) (additions to existing structures) of the CEQA Guidelines. No further environmental review is required.

PREPARED BY:

Rudy Lopez, Assistant Planner, Planning

ATTACHMENTS:

1. Draft Resolution No. 2025-XX
2. Site Plan, Floor Plan, Elevation, and Roof Plan

**PLANNING COMMISSION
RESOLUTION NO. 2025-XX**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DIAMOND BAR, CALIFORNIA, APPROVING DEVELOPMENT REVIEW PLANNING CASE NO. PL2025-17 TO REMODEL THE EXTERIOR AND CONSTRUCT A 437 SQUARE-FOOT ADDITION TO THE FIRST LEVEL, A 1,190 SQUARE-FOOT ADDITION TO THE SECOND LEVEL, A NEW 1,039 SQUARE-FOOT THIRD LEVEL, A 1,377 SQUARE-FOOT FIRST-LEVEL PATIO COVER, 1,190 SQUARE FEET OF BALCONY AREA, AND AN INTERIOR REMODEL TO AN EXISTING 5,071 SQUARE-FOOT TWO-STORY SINGLE-FAMILY RESIDENCE ON A 1.89 GROSS ACRE (82,328 GROSS SQUARE-FOOT) LOT LOCATED AT 2151 DERRINGER LANE, DIAMOND BAR, CA 91765 (APN 8713-034-028).

A. RECITALS

1. The property owner, Vishal Kaushal, and applicant, Pete Volbeda, have filed an application for Development Review and Minor Conditional Use Permit No. PL2025-17 for a property located at 2151 Derringer Lane, Diamond Bar, County of Los Angeles, California.
2. The following approvals are requested from the Planning Commission:
 - (a) Development Review to remodel the exterior and construct a 437 square-foot addition to the first level, a 1,190 square-foot addition to the second level, a new 1,039 square-foot third level, a 1,377 square-foot first-level patio cover, 1,190 square feet of balcony area, and an interior remodel to an existing 5,071 square-foot two-story single-family residence on a 1.89 gross acre lot.
 - (b) Minor Conditional Use Permit to allow the continuation of an existing nonconforming structure with a 20'-5" front setback (where 30 feet is required).

Hereinafter in this Resolution, the subject Development Review and Minor Conditional Use Permit shall be referred to as the "Proposed Project."

3. The subject property is made up of one parcel totaling 82,328 gross square feet (1.89 gross acres). It is located in the Rural Residential (RR) zone with an underlying General Plan land use designation of Rural Residential.
4. The legal description of the subject property is Lot 54 of Tract No. 23483, and the Assessor's Parcel Number (APN) is 8713-034-028.
5. On August 29, 2025, public hearing notices were mailed to property owners within a 1,000-foot radius of the Project site. The notice was submitted to the *San Gabriel Valley Tribune* newspaper for publication on August 29, 2025. Also,

public notices were posted at the project site and the City's designated community posting sites.

6. On September 9, 2025, the Planning Commission of the City of Diamond Bar conducted a duly noticed public hearing, solicited testimony from all interested individuals, and concluded said hearing on that date.

B. RESOLUTION

NOW, THEREFORE, it is found, determined and resolved by the Planning Commission of the City of Diamond Bar as follows:

1. The Planning Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct; and
2. The Planning Commission hereby determines the Project to be Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to the provisions of Article 19, Section 15301(e) (additions to existing structures) of the CEQA Guidelines. Therefore, no further environmental review is required.

C. FINDINGS OF FACT

Based on the findings and conclusions set forth herein and as prescribed under Diamond Bar City Code (DBCC) Sections 22.48, 22.56 and 22.68, this Planning Commission hereby finds as follows:

Development Review Findings (DBCC Section 22.48.040)

1. The design and layout of the proposed development is consistent with the applicable elements of the City's General Plan, City Design Guidelines, and development standards of the applicable district, design guidelines, and architectural criteria for special areas (e.g., theme areas, specific plans, community plans, boulevards or planned developments):

The design of the Project is consistent with the applicable elements of the City's General Plan, City Design Guidelines and development standards. The City's General Plan Policy LU-P-56 requires that development on privately-owned, residentially designated land in hillside areas shall be compatible with the surrounding natural areas promoting design principles such as minimizing grading, preserving existing vistas, incorporate site and architectural design that is sensitive to the hillsides, and require fuel modification. The proposed addition is concentrated above and along the rear of the existing footprint of the house and the new balcony areas will not require any grading or excavation. No new retaining walls are proposed. The Project will also be required to implement fuel modification.

A gradual transition between the project and adjacent uses is achieved through

appropriate setbacks, building height, and window and door placement. Additionally, the design includes balcony/covered patio areas throughout the three levels of the home. All elevations are architecturally treated and strongly articulated through projections along the visible façade [City's Design Guidelines B. Architecture (3)].

The Project complies with all development standards of the Rural Residential zoning district by complying with all development standards such as required setbacks (with the exception of the existing nonconforming front setback of 20'-5"), building height, and lot coverage. The project site is not part of any theme area, specific plan, community plan, boulevard or planned development.

2. The design and layout of the proposed development will not interfere with the use and enjoyment of neighboring existing or future developments, and will not create traffic or pedestrian hazards;

The proposed addition house will not interfere with the use and enjoyment of neighboring existing or future developments because the use of the project site is designed for a single-family home and the surrounding uses are also single-family homes. The proposed addition will not be intrusive to neighboring homes since the proposed addition will not block existing views from adjacent properties. The property to the north will continue to have views of the vista from their rear yard to the west and the property to the south will continue to have views of the vista from their rear yard to the northwest. All properties to the east will have views of the vista from their rear yard to the east.

With respect to privacy, the proposed third-level will not be intrusive to neighboring properties for the following reasons:

- *2205 Indian Creek Road is approximately 200 feet from the proposed addition, there are existing dense tall trees, and the property sits at a higher elevation which prevents direct line of sight from the third level addition; and*
- *The proposed third level balcony, the only portion of the third-level addition visible from 2137 Derringer Lane, is oriented predominantly west and will not have greater impacts for privacy than the existing second level balcony.*

The proposed single-family house will not interfere with vehicular or pedestrian movements, such as access or other functional requirements of a single-family home because it complies with the requirements for driveway widths and exceeds the minimum number of required off-street parking spaces.

3. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood and will maintain and enhance the harmonious, orderly and attractive development contemplated by Chapter 22.48: Development Review Standards, the City's Design Guidelines, the City's General Plan, or any applicable specific plan;

The City's General Plan Policy LU-P-56 requires that residential development be compatible with the prevailing character of the surrounding neighborhood in terms of building scale, density, massing, and design. The City's General Plan Goal CC-G-4 also requires the preservation of the scale and character of existing residential neighborhoods and ensure sensitive transitions between densities and uses. The City's Design Guidelines Architecture (1) requires compatibility with the surrounding character including harmonious building style, form, size, color, material and roofline.

The scale and proportions of the proposed addition are well balanced and appropriate for the 1.89 gross-acre site. The Mediterranean architectural style is compatible with other homes in the neighborhood since the architecture in The Country is eclectic, and includes a variety of architectural designs. The Project minimizes negative impacts on surrounding uses since the house will not block existing views from adjacent properties. In sum, the Project fits the character of the neighborhood on which it is proposed.

4. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, color, and will remain aesthetically appealing;

The applicant is proposing to remodel the entire house, add throughout the two levels of the house, and introduce a third level. The architectural style of the existing home is a Mediterranean design with a balanced façade, low-pitched tiled roof, corbels beneath the eave, arched entryway, recessed windows, decorative wrought-iron railings, and decorative trim surrounding the doors and windows. Building materials consist of clay S-tile roofing, smooth stucco walls, decorative stucco trim and corbels, wrought-iron details for balcony railings and ornamental grilles, and vinyl windows with metal frames that provide articulation and depth across the façade.

Through the use of quality materials with texture and color, the proposed residence will not be intrusive to neighboring homes. The scale and proportions of the proposed remodel and addition are well-balanced and appropriate for the site.

5. The proposed development will not be detrimental to public health, safety or welfare or materially injurious (e.g., negative effect on property values or resale(s) of property) to the properties or improvements in the vicinity; and

Before the issuance of any City permits, the proposed project is required to comply with all conditions within the approved resolution, and the Building and Safety Division and Public Works Departments requirements.

Through the permit and inspection process, the referenced agencies will ensure that the proposed project is not detrimental to the public health, safety or welfare or materially injurious to the properties or improvements in the vicinity.

6. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA).

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as set forth under Article 19 Section 15301(e) (additions to existing structures) of the CEQA Guidelines.

Minor Conditional Use Permit Findings (DBCC Section 22.56.040)

1. The proposed use is allowed within the subject zoning district with the approval of a Minor Conditional Use Permit and complies with all other applicable provisions of this Development Code and the City Code.

The existing single-family dwelling is a permitted use in the RR zone. A Minor Conditional Use Permit (MCUP) is requested to allow the continuation of an existing nonconforming structure with a preexisting nonconforming 20'-5" front setback (where 30 feet is required).

The pre-existing substandard front setback renders the project nonconforming. The addition to a nonconforming structure requires approval of a Minor Conditional Use Permit because the addition is not limited to the ground floor. The 437 square-foot addition to the first level, 1,190 square-foot addition to the second level, new 1,039 square-foot third level, 1,377 square-foot first-level patio cover, and 1,190 square feet of balcony area complies with the development standards of the RR zone and will not further encroach into the nonconforming front setback.

2. The proposed use is consistent with the general plan and any applicable specific plan.

The proposed addition to an existing single-family dwelling unit is consistent with the City's adopted General Plan. The site is not subject to the provisions of any specific plan.

3. The design, location, size and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity.

The exterior remodel and the construction of a 437 square-foot addition to the first level, a 1,190 square-foot addition to the second level, a new 1,039 square-foot third level, a 1,377 square-foot first-level patio cover, 1,190 square feet of balcony area will not further encroach into the existing nonconforming 20'-5" front setback. The Mediterranean architectural design of the remodeled home is compatible with other homes in the neighborhood, as the architecture in The Country is eclectic and includes a variety of architectural styles. The Project also minimizes negative impacts on surrounding uses, as the house will not block existing views from adjacent properties or result in potential privacy impacts. Therefore, the Project is compatible with the existing and future land uses in the vicinity.

4. The subject site is physically suitable for the type and density/intensity of use being proposed including access, provision of utilities, compatibility with adjoining land uses, and the absence of physical constraints.

The subject site is physically suitable for the existing single-family residential dwelling and the proposed addition. The existing and proposed use of land is consistent with the surrounding land uses. The proposed addition is consistent with the development standards for the RR zone and will not further encroach into the existing nonconforming front and rear setbacks.

5. Granting the Minor Conditional Use Permit will not be detrimental to the public interest, health, safety, convenience or welfare, or materially injurious to persons, property or improvements in the vicinity and zoning district in which the property is located.

The granting of the Minor Conditional Use Permit will allow the addition of the existing single-family dwelling unit in a manner similar with existing dwelling units located in the surrounding neighborhood. The proposed expansion of the dwelling unit will not negatively impact the public interest, health, safety, convenience or welfare.

6. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA).

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as set forth under Article 19 Section 15301 (e) (additions to existing structure) of the CEQA Guidelines.

Non-Conforming Structures Findings (DBCC Section 22.68.030)

The addition, enlargement, extension, reconstruction, relocation or structural alteration of the nonconforming structure would not result in the structure becoming:

1. Incompatible with other structures in the neighborhood.

The proposed addition of floor area is consistent with the development standards for the RR zone. The Project will comply with current development standards and not further encroach into the existing nonconforming 20'-5" front setback. The existing and proposed land use is consistent with the surrounding land uses and structures in the neighborhood. Additionally, the neighboring properties also have nonconforming front setbacks, so the proposed project will remain consistent with other homes within the neighborhood.

2. Inconsistent with the general plan or any applicable specific plan.

The proposed addition to a single-family dwelling unit is consistent with the City's adopted General Plan. The site is not subject to the provisions of any specific plan.

3. A restriction to the eventual/future compliance with the applicable regulations of

this Development Code.

The existing and proposed land use is consistent with the surrounding land uses with similar front and rear setbacks. The proposed addition of floor area is consistent with the development standards for the RR zone and will not encroach into the existing nonconforming front setback.

4. Detrimental to the health, safety and general welfare of persons residing in the neighborhood.

Before the issuance of any City permits, the proposed project is required to comply with all conditions within the approved resolution, and the Building and Safety Division and Public Works/Engineering Departments requirements.

Through the permit and inspection process, the referenced agencies will ensure that the proposed project is not detrimental to the public health, safety or welfare or materially injurious to the properties or improvements in the vicinity.

5. Detrimental and/or injurious to property and improvements in the neighborhood.

The addition to the existing single-family dwelling unit will be constructed in a manner similar with existing dwelling units located in the surrounding community and will not be detrimental and/or injurious to property and improvements in the neighborhood

Based upon the findings and conclusion set forth above, the Planning Commission hereby approves this Application, subject to the following conditions:

1. Development shall substantially comply with the plans and documents presented to the Planning Commission at the public hearing.
2. Standard Conditions. The applicant shall comply with the standard development conditions attached hereto.

The Planning Commission shall:

- a. Certify to the adoption of this Resolution; and
- b. Forthwith transmit a certified copy of this Resolution, by certified mail to the property owner, Vishal Kaushal, 2151 Derringer Lane Diamond Bar, CA 91765, and applicant, Pete Volbeda, 215 North 2nd Avenue Suite B, Upland, CA 91786.

APPROVED AND ADOPTED THIS 9TH DAY OF SEPTEMBER, 2025, BY THE PLANNING COMMISSION OF THE CITY OF DIAMOND BAR.

By: _____
Nalia Barlas, Chairperson

I, Greg Gubman, Planning Commission Secretary, do hereby certify that the foregoing Resolution was duly introduced, passed, and adopted, at a regular meeting of the Planning Commission held on the 9th day of September, 2025, by the following vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST: _____
Greg Gubman, Secretary



COMMUNITY DEVELOPMENT DEPARTMENT

STANDARD CONDITIONS

USE PERMITS, COMMERCIAL AND RESIDENTIAL NEW AND REMODELED STRUCTURES

PROJECT #: Development Review and Minor Conditional Use Permit No. PL2025-17

SUBJECT: To remodel the exterior and construct a 437 square-foot addition to the first level, a 1,190 square-foot addition to the second level, a new 1,039 square-foot third level, a 1,377 square-foot first-level patio cover, 1,190 square feet of balcony area, and an interior remodel to an existing 5,071 square-foot two-story single-family residence on a 1.89 gross acre lot. A Minor Conditional Use Permit is requested to allow the continuation of an existing nonconforming structure with a 20'-5" front setback (where 30 feet is required).

PROPERTY OWNER: Vishal Kaushal, 2151 Derringer Lane, Diamond Bar, CA 91765

APPLICANT: Pete Volbeda, 215 North 2nd Avenue Suite B, Upland, CA 91786

LOCATION: 2151 Derringer Lane, Diamond Bar, CA 91765

ALL OF THE FOLLOWING CONDITIONS APPLY TO YOUR PROJECT.

I. APPLICANT SHALL CONTACT THE PLANNING DIVISION AT (909) 839-7030, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

A. GENERAL REQUIREMENTS

1. The applicant shall defend, indemnify, and hold harmless the City, and its officers, agents and employees, from any claim, action, or proceeding to attack, set-aside, void or annul, the approval of Development Review and Minor Conditional Use Permit No. PL2025-17 brought within the time period provided by

Government Code Section 66499.37. In the event the city and/or its officers, agents and employees are made a party of any such action:

- (a) Applicant shall provide a defense to the City defendants or at the City's option reimburse the City its costs of defense, including reasonable attorneys' fees, incurred in defense of such claims.
 - (b) Applicant shall promptly pay any final judgment rendered against the City defendants. The City shall promptly notify the applicant of any claim, action of proceeding, and shall cooperate fully in the defense thereof.
- 2. This approval shall not be effective for any purpose until the applicant and owner of the property involved have filed, within twenty-one (21) days of approval of this Development Review and Minor Conditional Use Permit No. PL2025-17, at the City of Diamond Bar Community Development Department, their affidavit stating that they are aware of and agree to accept all the conditions of this approval. Further, this approval shall not be effective until the applicants pay remaining City processing fees, school fees and fees for the review of submitted reports.
- 3. All designers, architects, engineers, and contractors associated with this project shall obtain a Diamond Bar Business License; and a zoning approval for those businesses located in Diamond Bar.
- 4. Signed copies of Planning Commission Resolution No. 2025-XX, Standard Conditions, and all conditions of approval shall be included on the plans (full size). The sheet(s) are for information only to all parties involved in the construction/grading activities and are not required to be wet sealed/stamped by a licensed Engineer/Architect.
- 5. Prior to the plan check, revised site plans and building elevations incorporating all Conditions of Approval shall be submitted for Planning Division review and approval.
- 6. Prior to any use of the project site or business activity being commenced thereon, all conditions of approval shall be completed.
- 7. The project site shall be maintained and operated in full compliance with the conditions of approval and all laws, or other applicable regulations.
- 8. Approval of this request shall not waive compliance with all sections of the Development Code, all other applicable City Ordinances, and

any applicable Specific Plan in effect at the time of building permit issuance.

9. All site, grading, landscape/irrigation, and roof plans, and elevation plans shall be coordinated for consistency prior to issuance of City permits (such as grading, tree removal, encroachment, building, etc.,) or approved use has commenced, whichever comes first.
10. The hours during which construction activities causing the operation of any tools or equipment used in construction, drilling, repair, alteration, or demolition work are limited to Monday through Saturday, between the hours of 7:00 a.m. and 7:00 p.m., and are not allowed at any time on Sundays or holidays.
11. The property owner/applicant shall remove the public hearing notice board within three days of this project's approval.
12. The applicant shall comply with the requirements of City Planning, Building and Safety Divisions, Public Works Department, and the Fire Department.
13. Prior to issuance of building permits, the applicant shall record, and provide the City with a conformed recorded copy of, a Covenant and Agreement or similar document in a form approved by the City Attorney, which restricts the rental of rooms or other portions of the property under two or more separate agreements and prohibits use of the property as a boarding or rooming house, except to the extent otherwise permitted by the Diamond Bar City Code or applicable state or federal law.

B. FEES/DEPOSITS

1. Applicant shall pay development fees (including but not limited to Planning, Building and Safety Divisions, and Public Works Department) at the established rates, prior to issuance of building or grading permit (whichever comes first), as required by the City. School fees as required shall be paid prior to the issuance of building permit. In addition, the applicant shall pay all remaining prorated City project review and processing fees prior to issuance of grading or building permit, whichever comes first.
2. Prior to any plan check, all deposit accounts for the processing of this project shall have no deficits.

C. TIME LIMITS

1. The approval of Development Review and Minor Conditional Use Permit No. PL2025-17 expires within two years from the date of approval if the use has not been exercised as defined per Diamond Bar City Code (DBCC) Section 22.66.050 (b)(1). In accordance with DBCC Section 22.60.050(c), the applicant may request, in writing, a one-year time extension for Planning Commission consideration. Such a request must be submitted to the Planning Division prior to the expiration date and be accompanied by the review fee in accordance with the fee schedule in effect at the time of submittal.

D. SITE DEVELOPMENT

1. This approval is remodel the exterior and construct a 437 square-foot addition to the first level, a 1,190 square-foot addition to the second level, a new 1,039 square-foot third level, a 1,377 square-foot first-level patio cover, 1,190 square feet of balcony area, and an interior remodel to an existing 5,071 square-foot two-story single-family residence at 2151 Derringer Lane, as described in the staff report and depicted on the approved plans on file with the Planning Division, subject to the conditions listed below.
2. The construction documents submitted for plan check shall be in substantial compliance with the architectural plans approved by the Planning Commission, as modified pursuant to the conditions below. If the plan check submittal is not in substantial compliance with the approved Development Review submittal, the plans may require further staff review and re-notification of the surrounding property owners, which may delay the project and entail additional fees.
3. To ensure compliance with the provisions of the Planning Commission approval, a final inspection is required from the Planning Division when work for any phase of the project has been completed. The applicant shall inform the Planning Division and schedule an appointment for such an inspection.
4. The above conditions shall run with the land and shall be binding upon all future owners, operators, or successors thereto of the property. Non-compliance with any condition of approval or mitigation measure imposed as a condition of the approval shall constitute a violation of the City's Development Code. Violations may be enforced in accordance with the provisions of the Development Code.
5. Failure to comply with any of the conditions set forth above or as subsequently amended in writing by the City, may result in failure to

obtain a building final and/or a certificate of occupancy until full compliance is reached. The City's requirement for full compliance may require minor corrections and/or complete demolition of a non-compliant improvement, regardless of costs incurred where the project does not comply with design requirements and approvals that the applicant agreed to when permits were pulled to construct the project.

6. The project site shall be developed and maintained in substantial conformance with the approved plans submitted to, approved, and amended herein by the Planning Commission, on file with the Planning Division, the conditions contained herein, and the Development Code regulations.
7. All roof- or ground-mounted mechanical equipment (e.g., air conditioning, heating, ventilation ducts and exhaust, water heaters, etc.), waste and storage areas, and utility services shall be screened from public view from abutting public streets and rights-of-way, and abutting area(s) zoned for residential or open space uses, including views from above the subject project. The method of screening shall be architecturally compatible with other site development in terms of colors, materials, and architectural style subject to approval by the director. The screening design/construction shall blend with the design of the structure(s) and include appropriately installed and maintained landscaping when on the ground.
8. All structures, including walls, trash enclosures, canopies, etc., shall be maintained in a structurally sound, safe manner with a clean, orderly appearance. All graffiti shall be removed within 72 hours by the property owners/occupant.
9. All landscaping, structures, architectural features and public improvements damaged during construction shall be repaired or replaced upon project completion.

E. SOLID WASTE

1. The site shall be maintained in a condition, which is free of debris both during and after the construction, addition, or implementation of the entitlement approved herein. The removal of all trash, debris, and refuse, whether during or subsequent to construction shall be done only by the property owner, applicant or by a duly permitted waste contractor, who has been authorized by the City to provide collection, transportation, and disposal of solid waste from residential, commercial, construction, and industrial areas within the City. It shall be the applicant's obligation to ensure that the waste

contractor used has obtained permits from the City of Diamond Bar to provide such services.

2. Mandatory solid waste disposal services shall be provided by the City franchised waste hauler to all parcels/lots or uses affected by approval of this project.

II. APPLICANT SHALL CONTACT THE COUNTY OF LOS ANGELES FIRE DEPARTMENT, (909) 620-2402, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

A. FIRE PROTECTION STANDARDS

1. Comments will be provided upon acceptance of fees invoiced by the County.
2. Development shall be constructed to reduce the potential for spread of brushfire.
 - (a) In the case of a conflict, where more restrictive provisions are contained in the current State and Local Building Code or in the Fire Code, the more restrictive provisions shall prevail.
 - (b) Roofs shall be covered with noncombustible materials as defined in the building code. Open eave ends shall be stopped in order to prevent bird nests or other combustible material lodging within the roof and to preclude entry of flames.
 - (c) Exterior walls shall be surfaced with noncombustible or fire-resistant materials.
 - (d) Balconies, patio roofs, eaves and other similar overhangs shall be of noncombustible construction or shall be protected by fire-resistant material in compliance with the building code.
3. All development shall be constructed with adequate water supply and pressure for all proposed development in compliance with standards established by the fire marshal.
4. A permanent fuel modification area shall be required around development projects or portions thereof that are adjacent or exposed to hazardous fire areas for the purpose of fire protection. The required width of the fuel modification area shall be based on applicable building and fire codes and a fire hazard analysis study developed by the fire marshal. In the event abatement is not performed, the council may instruct the fire marshal to give notice to the owner of the property upon which the condition exists to correct

the prohibited condition. If the owner fails to correct the condition, the council may cause the abatement to be performed and make the expense of the correction a lien on the property upon which the conditions exist.

5. Fuel modification areas shall incorporate soil erosion and sediment control measures to alleviate permanent scarring and accelerated erosion.
6. If the fire marshal determines in any specific case that difficult terrain, danger of erosion, or other unusual circumstances make strict compliance with the clearance of vegetation undesirable or impractical, the fire marshal may suspend enforcement and require reasonable alternative measures designed to advance the purposes of this chapter.
7. Special construction features may be required in the design of structures where site investigations confirm potential geologic hazards.

III. APPLICANT SHALL CONTACT THE PUBLIC WORKS DEPARTMENT, (909) 839-7040, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

A. GENERAL

1. An Erosion Control Plan shall be submitted concurrently with the grading plan clearly detailing erosion control measures. These measures shall be implemented during construction. The erosion control plan shall conform to national Pollutant Discharge Elimination System (NPDES) standards and incorporate the appropriate Best Management Practices (BMP's) as specified in the Storm Water BMP Certification.

B. DRAINAGE

1. Detailed drainage system information of the lot with careful attention to any flood hazard area shall be submitted. All drainage/runoff from the development shall be conveyed from the site to the natural drainage course. No on-site drainage shall be conveyed to adjacent parcels, unless that is the natural drainage course.

IV. APPLICANT SHALL CONTACT THE BUILDING AND SAFETY DIVISION, (909) 839-7020, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

General Conditions:

1. Plans and construction shall conform to current State and Local

Building Code (i.e. 2022 California Building Code series will apply) requirements and all other applicable construction codes, ordinances and regulations in effect at the time of permit issuance.

2. Implementation of the CAL Green Code shall be reflected on the plans, and certification shall be by a third party as required by the Building Division. Specific water, waste, low VOC, and related conservation measures shall be shown on plans. Construction shall conform to the current CAL Green Code

Plan Check – Items to be addressed prior to plan approval:

3. The minimum design load for wind in this area is 110 M.P.H. exposures “C” and the site is within seismic zone D or E. The applicant shall submit drawings and calculations prepared by a California State licensed Architect/Engineer with wet stamp and signature.
4. Indoor air quality shall be provided consistent with ASHRAE 62.2 as required per California Energy Code 150(o).
5. Public Works/Engineering Department is required to review and approve grading plans that clearly show all finish elevations, drainage, and retaining wall(s) locations. These plans shall be consistent with the site plan submitted to the Building & Safety Division.
6. This project shall comply with the energy conservation requirements of the State of California Energy Commission. All lighting shall be high efficacy or equivalent per the current California Energy Code 140.6 to 140.9.
7. Indicate the proposed addition and existing building on the plans. Submit code analysis and justification showing the following:
 - (e) Each building square footage.
 - (f) Each building height.
 - (g) Type of construction.
 - (h) Sprinkler system.
 - (i) Each group occupancy.
 - (j) Property line location in relation to each building (side yard).

- (k) Shaft rating/exterior wall construction/opening protection.
-
- 8. All balconies shall be designed for 1.5 times the live load for the area served per CBC Table 1607.1 and provide ventilation in the joist space per CBC 2304.12.2.6.
 - 9. All easements shall be shown on the site plan.
 - 10. Fire Department approval shall be required. Contact the Fire Department to check the fire zone for the location of your property. If this project is located in High Hazard Fire Zone, it shall meet requirements of the fire zone per CBC Chapter 7A.
 - (a) All unenclosed under-floor areas shall be constructed as exterior wall.
 - (b) All openings into the attic, floor and/or other enclosed areas shall be covered with corrosion-resistant wire mesh not less than 1/4 inch or more than 1/2 inch in any dimension except where such openings are equipped with sash or door.
 - (c) Eaves shall be protected.
 - (d) Exterior construction shall be one-hour or non-combustible.
 - (e) Fuel modification plans shall be approved through LA County Fire Fuel Modification Unit.
 - (f) LA County Fire County Fire shall approve plans for fire flow availability due to home being over 3600 sf as required per CFC Appendix B105.1.
 - 11. All retaining walls shall be separately submitted to the Building & Safety and Public Works/Engineering Departments for review and approval.
 - 12. A soils report is required per CBC 1803 and all recommendations of the soils report shall be adhered to.
 - 13. Slope setbacks shall be consistent with California Building Code Figure 1805.3.1 and California Residential Code R403.1.7. Foundations shall provide a minimum distance to daylight.

Permit – Items required prior to building permit issuance:

14. Solid waste management of construction material shall incorporate recycling material collection per Diamond Bar City Code 8.16 of Title 8. The contractor shall complete all required forms and pay applicable deposits prior to permit.
15. Prior to building permit issuance, all school district fees shall be paid. Please obtain a form from the Building and Safety Division to take directly to the school district.
16. AQMD notification is required at least 10 days prior to any demolition. Proof of notification is required at permit issuance.
17. All workers on the job shall be covered by workers' compensation insurance under a licensed general contractor. Any changes to the contractor shall be updated on the building permit.

Construction – Conditions required during construction:

18. Every permit issued by the building official under the provisions of this Code shall expire and become null and void unless the work authorized by such permit is commenced within one year after permit issuance, and if a successful inspection has not been obtained from the building official within one-hundred-eighty (180) days from the date of permit issuance or the last successful inspection. A successful inspection shall mean a documented passed inspection by the city building inspector as outlined in Section 110.6.
19. All structures and property shall be maintained in a safe and clean manner during construction. The property shall be free of debris, trash, and weeds.
20. Existing fencing shall remain in-place during construction including pool barrier fencing. Any alternation of the fencing may result in a discontinuation of construction until the fences are returned to its original state.
21. All equipment staging areas shall be maintained in an orderly manner and screened behind a minimum 6' high fence.
22. The project shall be protected by a construction fence to the satisfaction of the Building Official, and shall comply with the NPDES & BMP requirements (sand bags, etc.). All fencing shall be view obstructing with opaque surfaces.

23. The applicant shall contact Dig Alert and have underground utility locations marked by the utility companies prior to any excavation. Contact Dig Alert by dialing 811 or their website at www.digalert.org.
24. The applicant shall first request and secure approval from the City for any changes or deviations from approved plans prior to proceeding with any work in accordance with such changes or deviations.
25. All glazing in hazardous locations shall be labeled as safety glass. The labeling shall be visible for inspection.
26. Pursuant to California Residential Code (CRC) Section R315, carbon monoxide detectors are required in halls leading to sleeping rooms.
27. Drainage patterns shall match the approved grading/drainage plan from the Public Works/Engineering Department. Surface water shall drain away from the building at a 2% minimum slope. The final as-built conditions shall match the grading/drainage plan or otherwise approved as-built grading/drainage plan.
28. Decks, roofs, and other flat surfaces shall slope at least 1/4"/ft with approved and listed water proofing material. Guardrails shall be provided for these surfaces at least 42" minimum in height, 4" maximum spacing between rails, and capable of resisting at least 20 pounds per lineal foot of lateral load.
29. Special inspections and structural observation will be required in conformance with CBC 1704 to 1709.
30. All plumbing fixtures, including those in existing areas, shall be low-flow models consistent with California Civil Code Section 1101.1 to 1101.8.

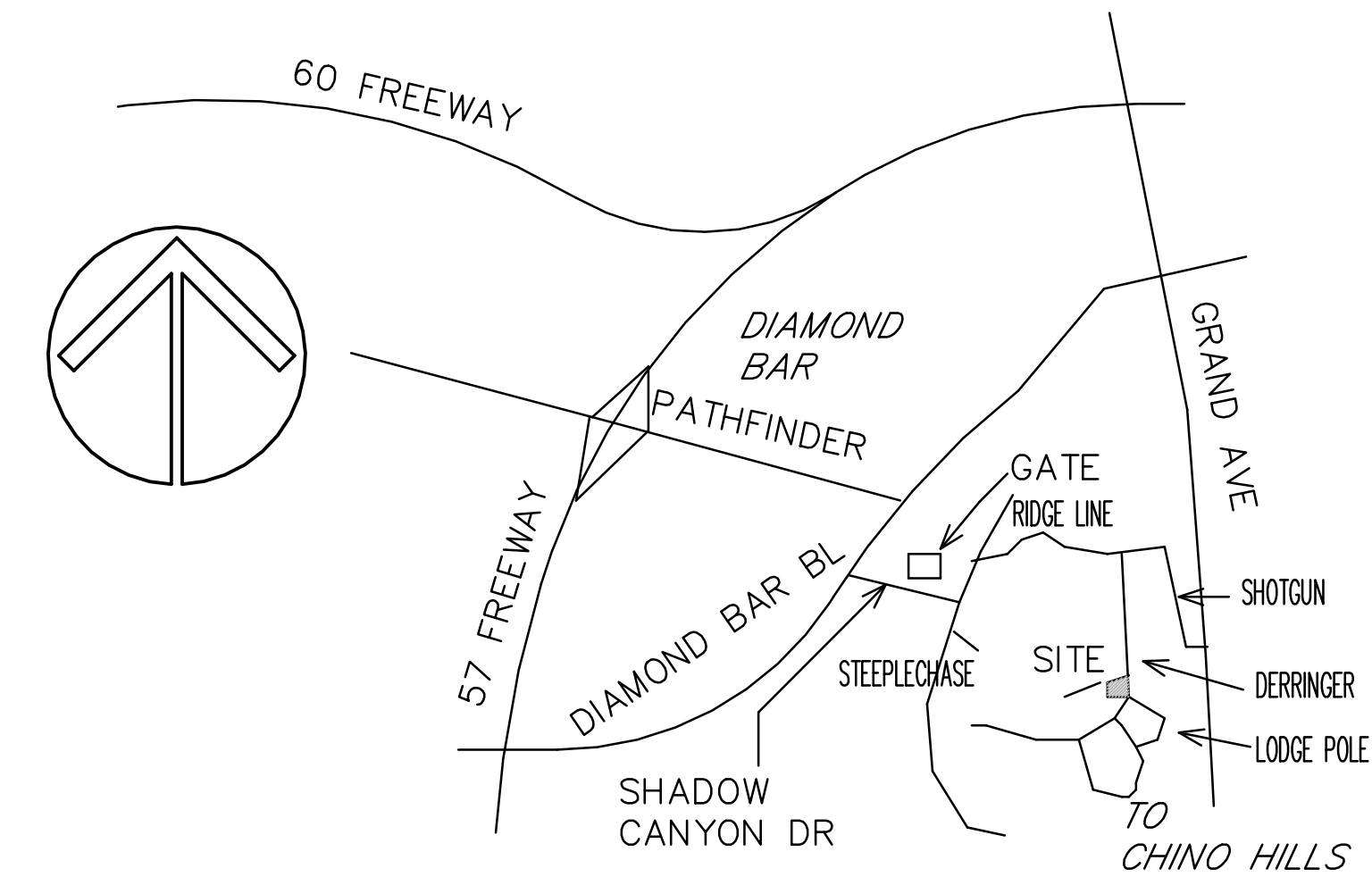
END

ADDITION TO
RESIDENCE FOR VISHAL KAUSHAL

APN 8713-034-028.

LOT 54 TRACT 23483

Address 2151 DERRINGER LN, Diamond Bar, CA 91765.



VICINITY MAP

OWNER:

VISHAL KAUSHAL

Address 2151 DERRINGER LN, Diamond Bar, CA 91765.

General Plan: RURAL RESIDENTIAL

ZONING: RR

SCOPE OF WORK

ADD 437 SQ FT TO BASEMENT FLOOR LIVING AREA
NEW BASEMENT 1,377 SF COVERED PATIO
ADD 1190 SQ FT FIRST FLOOR (ADDITIONS AND EXTENDED ENTRY)
NEW 1,025 SF BALCONY TO BE LEGALIZED
ADD 1039 SQ FT SECOND FLOOR AND A 165 SF SECOND FLOOR BALCONY
RAISE ROOF TO 24 FT 10 INCHES FROM STREET LEVEL
RELOCATE KITCHEN TO SOUTHEAST CORNER OF RESIDENCE
CREATE 2-STORY ENTRY
CREATE NEW LAUNDRY ROOM
REDESIGN FRONT ELEVATION
REDESIGN REAR ELEVATION
BALCONY LOCATED TOWARDS THE SOUTHERN PORTION OF THE LOT
WAS CONSTRUCTED WITHOUT PERMIT. THIS STRUCTURE IS BEING LEGALIZED
AND CONVERTED INTO HABITABLE SPACE ABOVE BALCONY.

CONSULTANTS

ARCHITECT
PETE VOLBEDA
215 N 2ND AVE, SUITE B, UPLAND CA 91786
UPLAND CA 91786
PH 909 373 1150

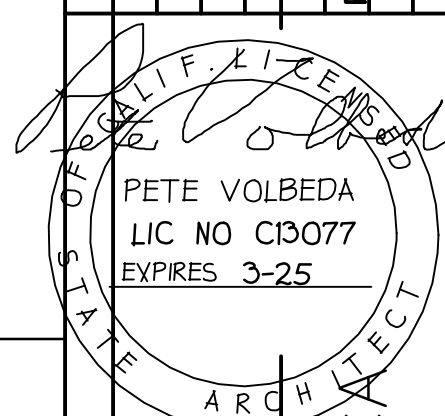
SHEET INDEX

C COVER SHEET
1 SITE PLAN TOPO
2 SITE PLAN
3 PROPOSED BASEMENT PLAN
4 PROPOSED FIRST FLOOR
5 PROPOSED SECOND FLOOR
6 PROPOSED ROOF PLAN
7 PROPOSED EAST AND WEST
8 PROPOSED NORTH ELEVATION
9 PROPOSED SOUTH ELEVATION
10 EXISTING SITE
11 EXISTING BASEMENT
12 EXISTING FIRST FLOOR
13 EXISTING EAST AND WEST
14 EXISTING NORTH AND SOUTH
15 DOOR AND WINDOW SCHEDULE

GROSS			NET	
LOT AREA	82,328 SF (1.89 ACRES)		78,843 SF	
ROAD	3,485 SF			
FOOTPRINT	5,453 SF			
	FIRST FLOOR LIVING AREA	3,238 SF		
	FIRST FLOOR ADDITION	1,190 SF		
	FIRST FLOOR BALCONY	1,025 SF		
	TOTAL	5,453 SF		
LOT COVERAGE: 5,453 SF / 82,328 SF X (100) = 6.62%			8.44%	
HARDSCAPE AREA 2900 SF			3.68%	
USABLE OPEN SPACE 12,079 SF			15.32 %	
LANDSCAPE 57,211 SF			72.56 %	
FLOOR AREAS	EXISTING	ADDITION	NEW BALCONY/ COVERED PATIO	TOTAL
BASEMENT LIVING	1,833 SF	437 SF	1,377 SF	3,647 SF
GARAGE	1,200 SF			
1ST FLOOR	3,238 SF	1,190 SF	1,025 SF	5,453 SF
2ND FLOOR		1,039 SF	165 SF	1,204 SF
SUBTOTAL	5,071 SF	2,666 SF	2,567 SF	10,304 SF
TOTAL LIVING AREA		10,304 SF		

EARTHWORK:

CUT	000	CU	YDS
FILL	0000	CU	YDS



ADD & REMODEL FOR KAUSHAL

SHEET	
OF	

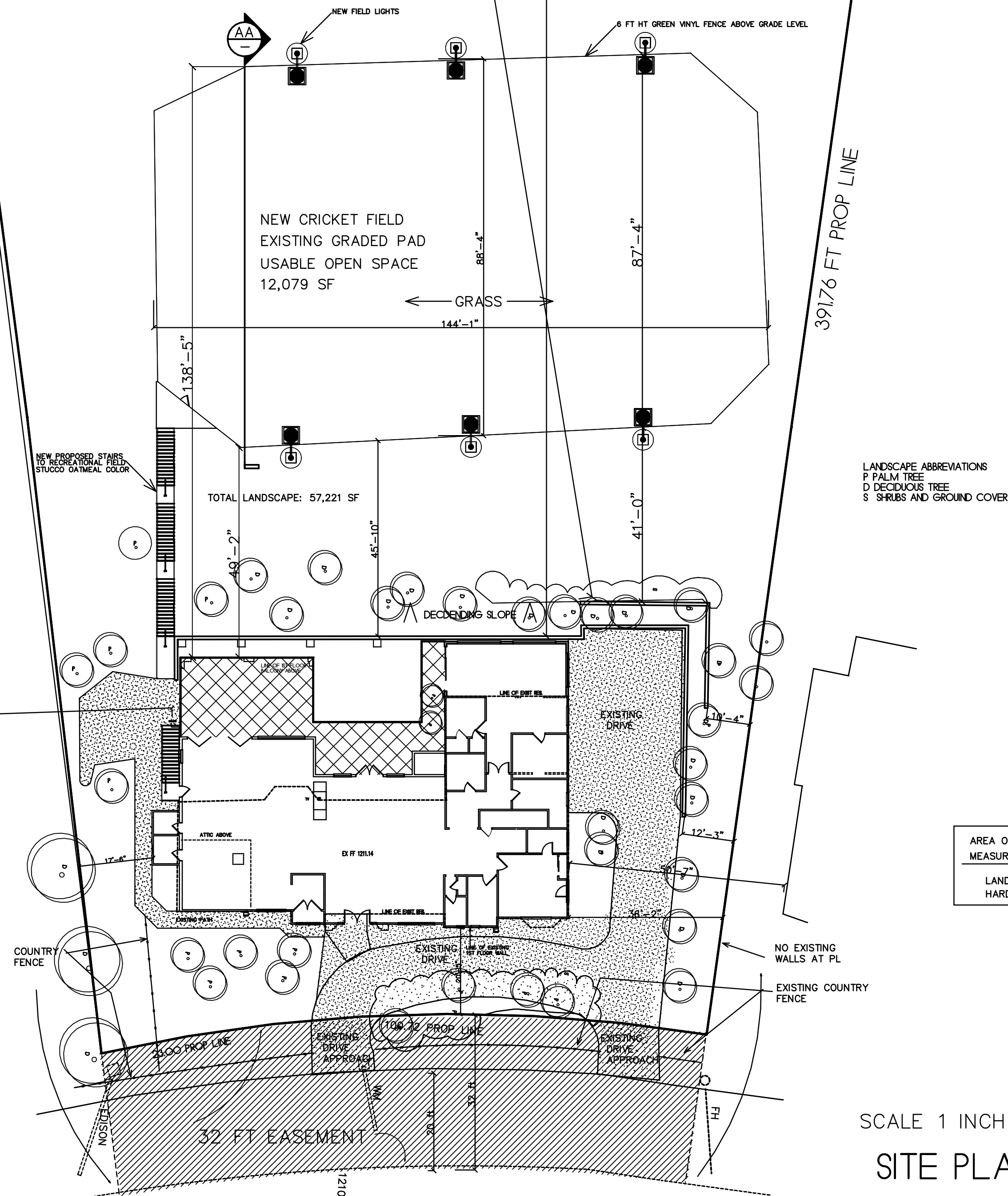
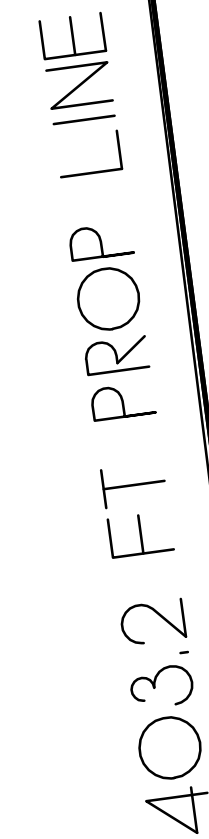
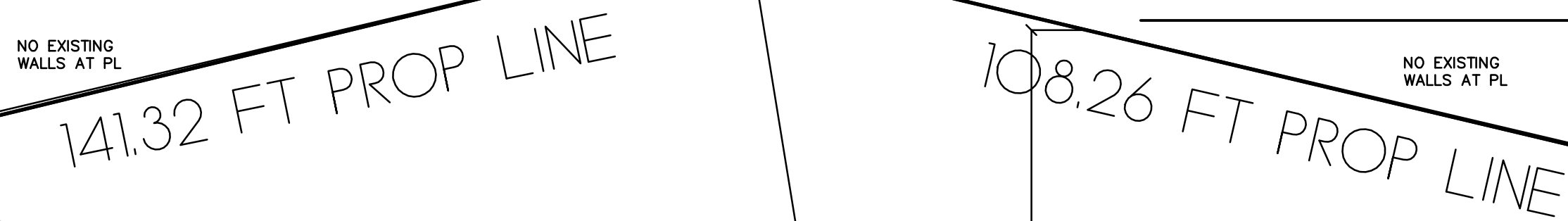
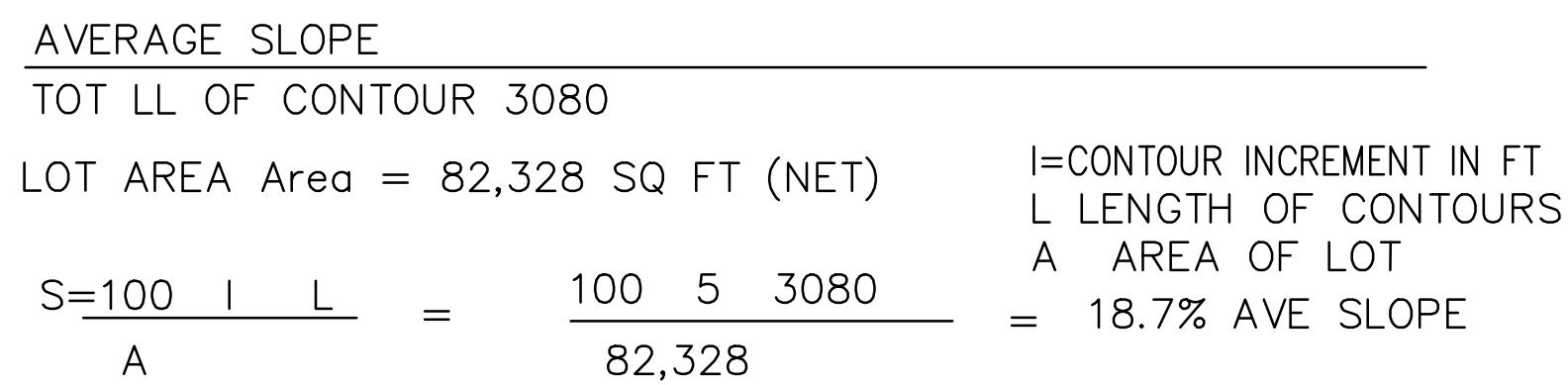
PETE VOLBEDA Architecture Planning
215 N 2ND AVE, SUITE B, UPLAND, CA 91786

215 N 2ND AVE, SUITE B, UPLAND CA 91786

TEL 909 373 1150 FAX 909 373 1152

DESIGN	DATE	8/20/2025
DRAWN BY:	PLAN CHECK	
CHECKED	APPROVED	
OWNER APPROVAL	BID SET	
	REVISION	DATE
PATH: NAME C:\DATA\CAD\DWG\	TESTDC-5	

2151 DERRINGER LN, DIAMOND BAR,



SCALE 1 INCH = 20 FT

SITE PLAN

ALL LANDSCAPING IS EXISTING CONDITION
ALL TREES ARE EXISTING CONDITION

THERE ARE NO NEW EXTERIOR WALLS PROPOSED

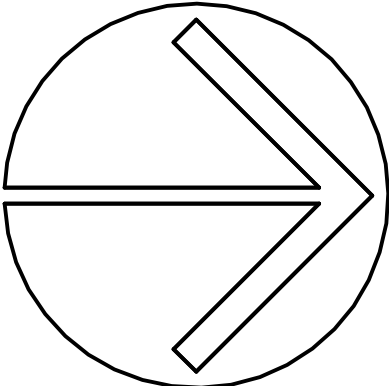
THERE IS NO NEW LANDSCAPING BEING PROPOSED

<u>IMPERVIOUS SURFACES:</u>	
FOOT PRINT:	6,643 SF
EXISTING HARDSCAPE:	3,610 SF
PROPOSED RECREATIONAL STAIR ACCESS:	321 SF
TOTAL IMPERVIOUS SURFACES:	10,574 SF

AREA OF HARDSCAPE AND LANDSCAPE IN THE FRONT YARD AREA
MEASURED FROM THE PROPERTY LINE TO THE FRONT BUILDING LINE

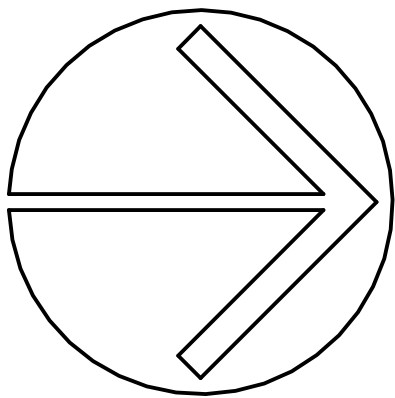
LANDSCAPE: 2,093 SF
HARDSCAPE: 1,357 SF

[illegible]

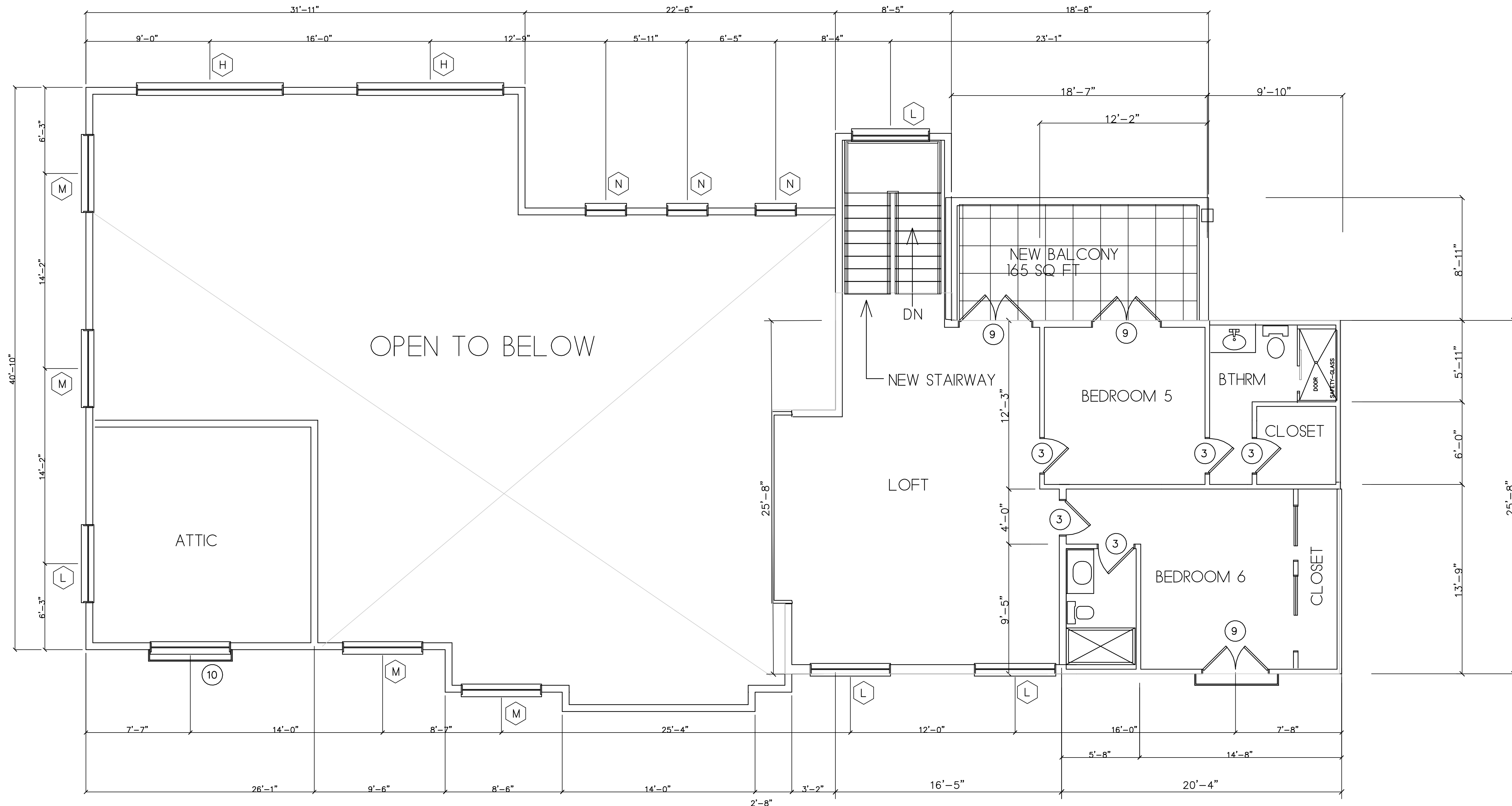


PETE VOLBEDA Architecture Planning
164 N 2ND AVE, SUITE 100, UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

OF	SHEET	ADD & REMODEL FOR KAUSHAL		DATE PLAN CHECK DRAWN BY: CHECKED BY: OWNER APPROVAL REVISION DATE PATH: NAME C:\DATA\ADD\DWG\TEST005
		DERINGER DIAMOND BAR, CA		



PROPOSED FIRST FLOOR 5,453 SF



PROPOSED 2ND FLOOR PLAN 1,204 SF

SCALE 1/4" = 1 F T - 0 IN

DESIGN	DATE	8/20/2025
DRAWN BY:	PLAN CHECK	
CHECKED	APPROVED	
OWNER APPROVAL	REV SET	
PATH NAME	REVISION	DATE
C:\DATA\CAD\DWG\EST\DC5		

ADD & REMODEL FOR KAUSHAL

STATE OF CALIFORNIA
PETE VOLBEDA
LIC NO C13077
EXPIRES 3-25
ARCHITECT

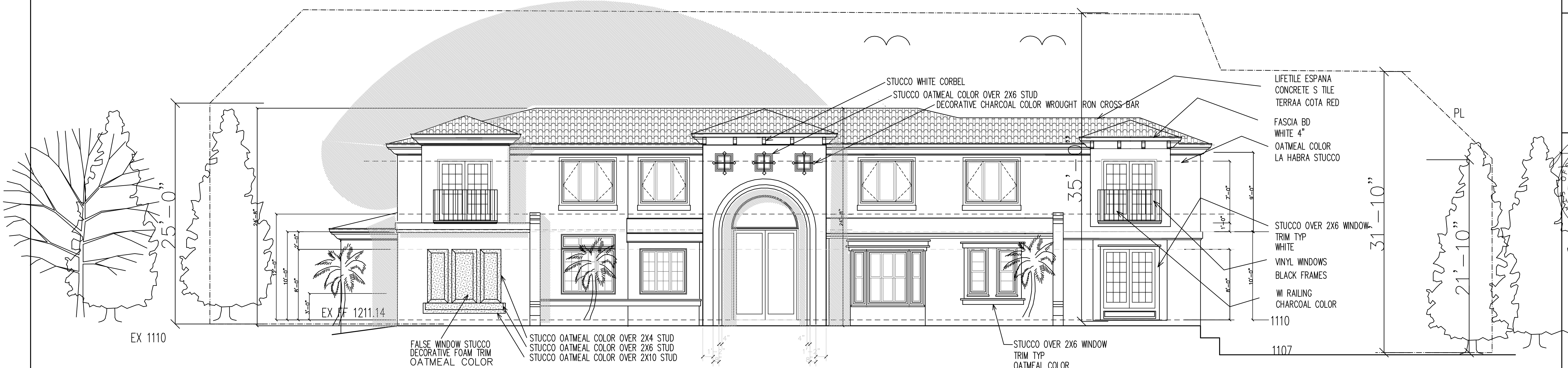
2151 DERRINGER LN. DIAMOND BAR, CA 91765

9



PROPOSED WEST REAR ELEVATION SCALE: 3/16" = 1'-0"

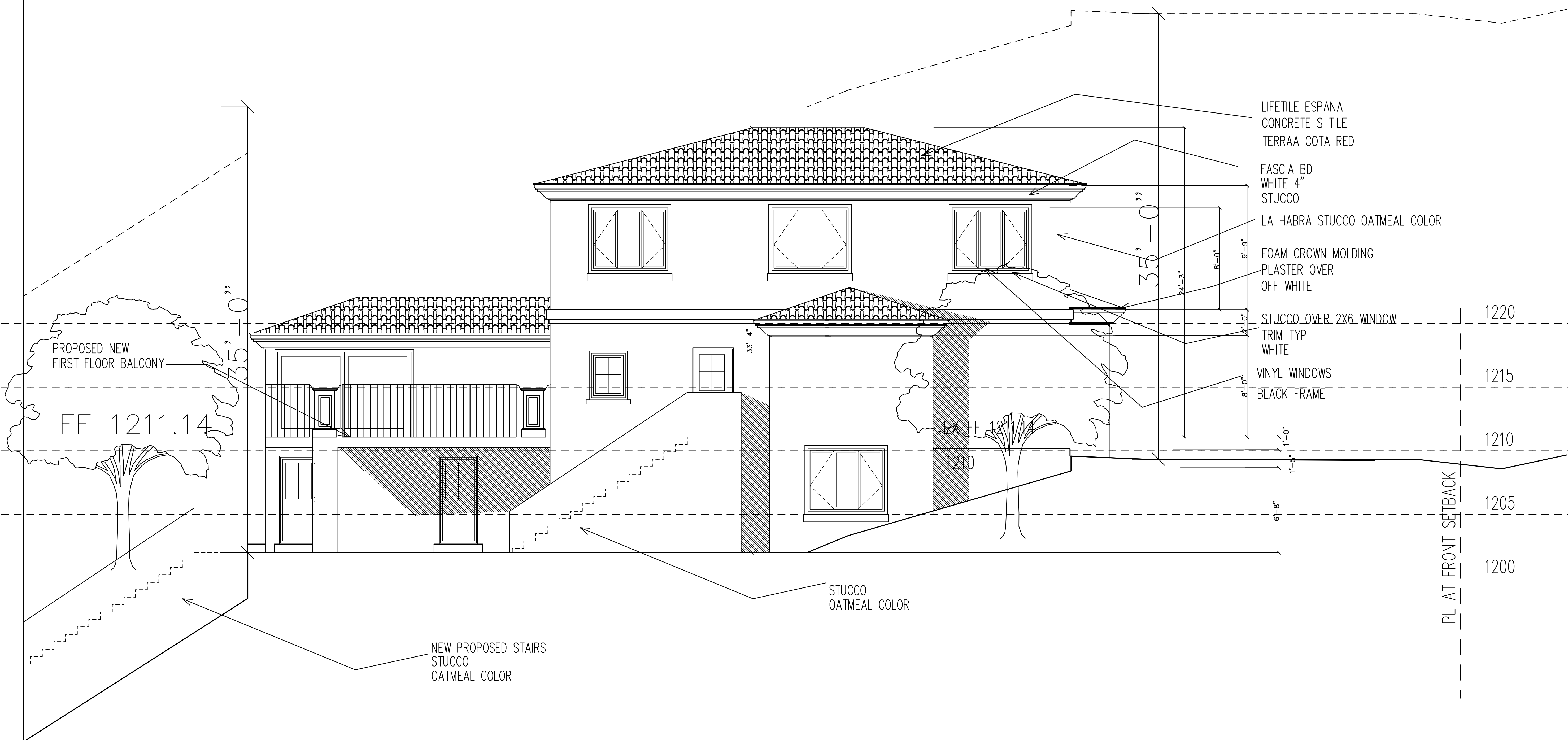
WI RAILING
CHARCOAL COLOR
PILLARS
STUCCO OAT MEAL COLOR



PROPOSED EAST FRONT ELEVATION SCALE: 3/16" = 1'-0"

DATE	DESIGN	DATE	DATE
8/20/2025	8/20/2025	8/20/2025	8/20/2025
PLAN CHECK	PLAN CHECK	PLAN CHECK	PLAN CHECK
APPROVED	APPROVED	APPROVED	APPROVED
NO SET	NO SET	NO SET	NO SET
REVISION	REVISION	REVISION	REVISION
DATE	DATE	DATE	DATE





PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1 F T - 0 IN

ADD & REMODEL FOR KAUSHAL

SHEET
OF

DERINGER DIAMOND BAR, CA

9

DATE
6/27/2025

PLAN CHECK
APPROVED

DATE

DESIGN
DRAWN BY:
CHECKED
OWNER APPROVAL

DATE

DATE

REVISION

DATE

DATE

TEST DC5

DATE

PETE VOLBEDA
LIC NO C13077
EXPIRES 3-25

ARCHITECT

DATE
6/27/2025

PLAN CHECK
APPROVED

DATE

DESIGN
DRAWN BY:
CHECKED
OWNER APPROVAL

DATE

DATE

REVISION

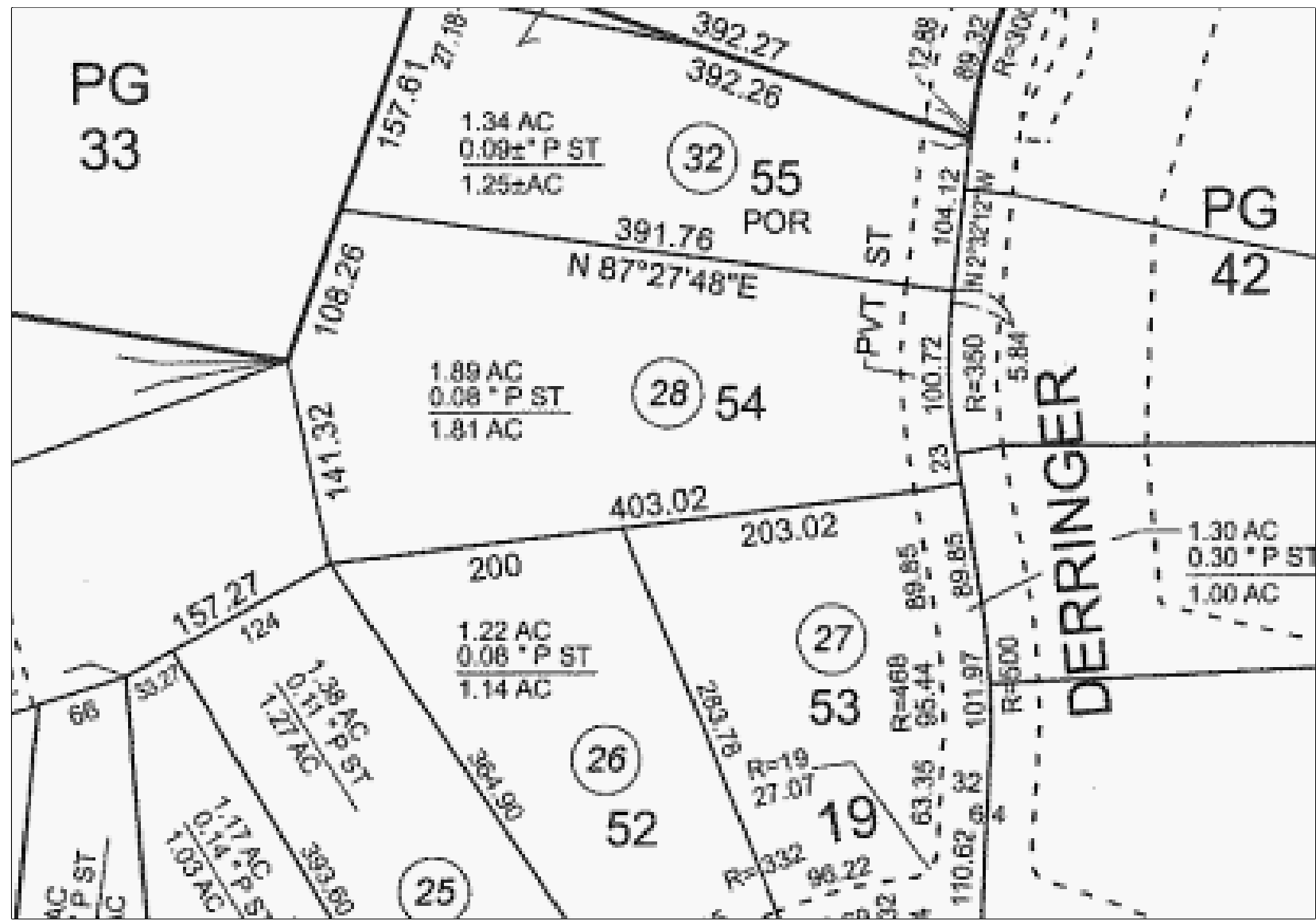
DATE

DATE

TEST DC5

DATE

PETE VOLBEDA Architecture Planning
164 N 2ND AVE, SUITE 100, UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

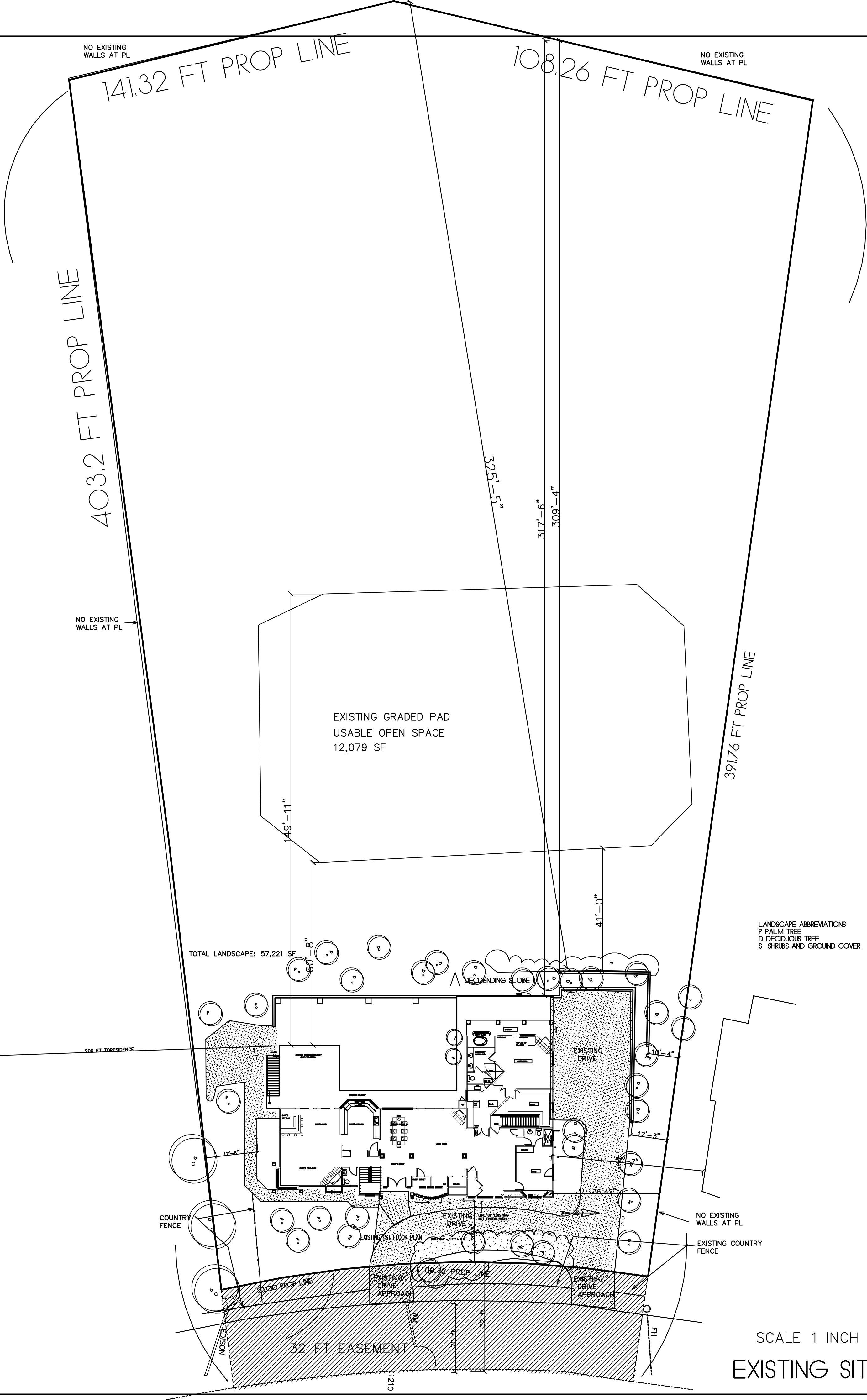


AVERAGE SLOPE
TOT LL OF CONTOUR 3080

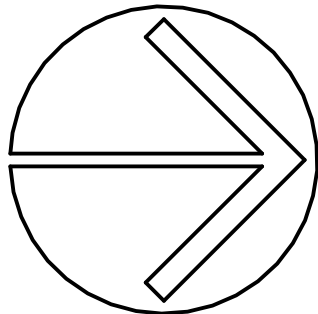
LOT AREA Area = 82,328 SQ FT (NET)

$$S = \frac{100 \cdot I \cdot L}{A} = \frac{100 \cdot 5 \cdot 3080}{82,328} = 18.7\% \text{ AVE SLOPE}$$

I=CONTOUR INCREMENT IN FT
L LENGTH OF CONTOURS
A AREA OF LOT



SCALE 1 INCH = 20 FT
EXISTING SITE PLAN



PETE VOLBEDA Architecture Planning

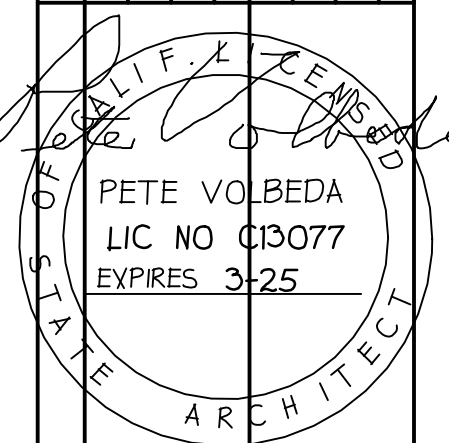
164 N 2nd AVE, SUITE 100 UPLAND CA 91786

TEL 909 373 1150 FAX 909 373 1152

7/17/2025
REV DATE

DATE
PLAN CHECK
APPROVED
BID SET

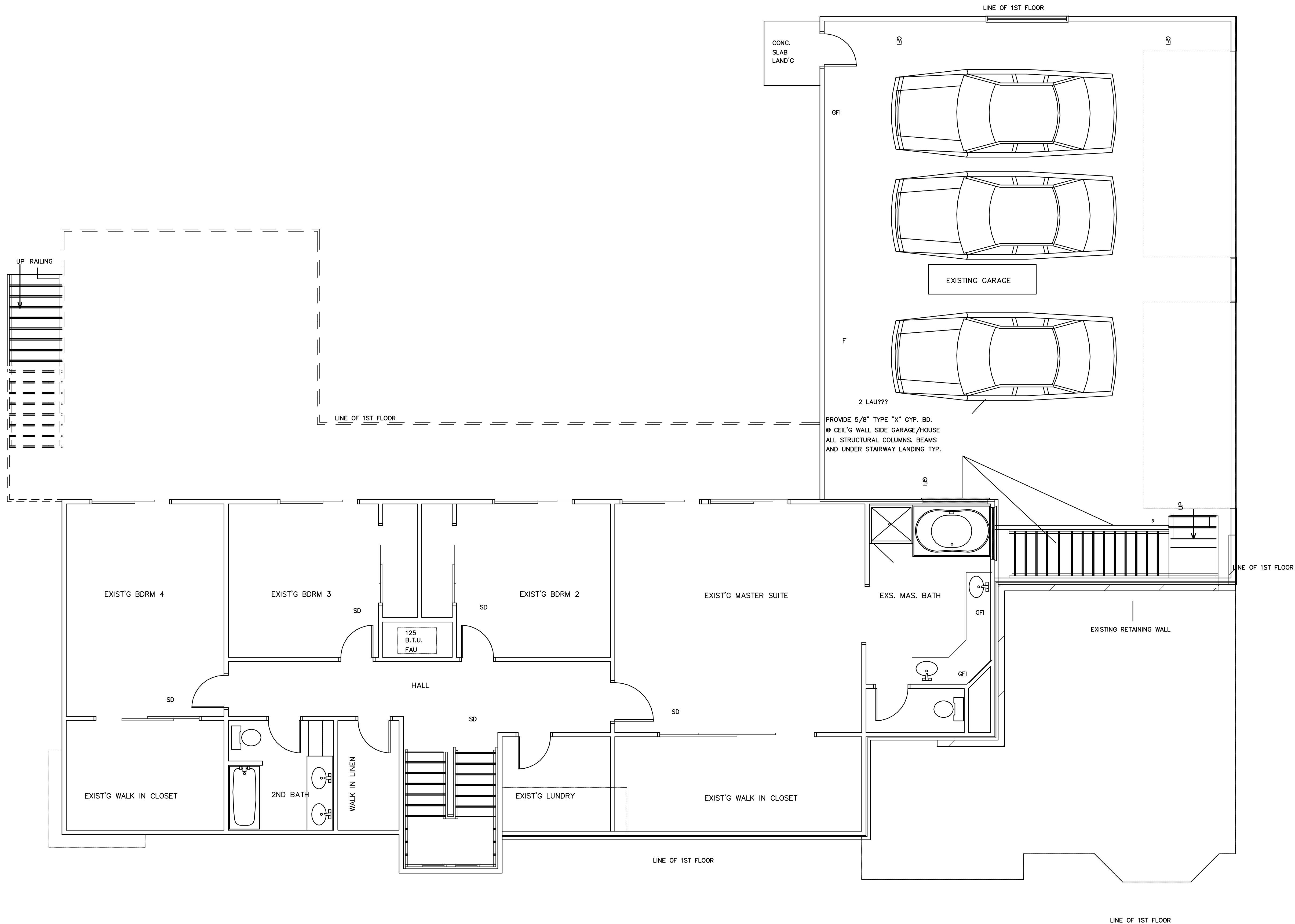
DESIGN
DRAWN BY
CHECKED
OWNER APPROVAL
PAIN NAME CLOSING UNIT SEE ONE DRAFT MOCS



REMODEL FOR VAISHAL
DERRINGER DIAMOND BAR, CA

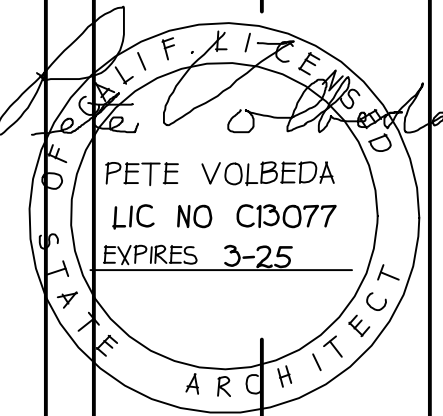
EXISTING SITE PLAN

SHEET
OF 10



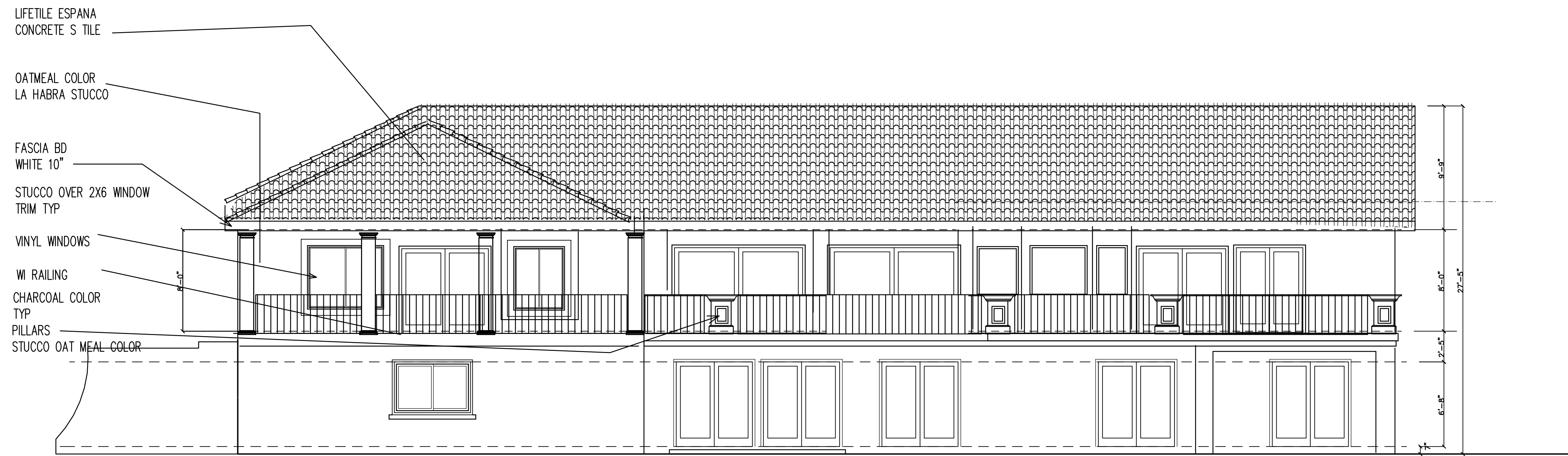
EXISTING BASEMENT FLOOR PLAN SCALE 1/4"=1'-0"

SHEET		DATE	DESIGN	DATE
OF	11	6/6/2025	DRAWN BY:	
			CHECKED	
			OWNER APPROVAL	
			PATN NAME C:\DATA\CAD\DWG\ESTDC5	
			PLAN CHECK	
			APPROVED	
			BID SET	
			REVISION	
			DATE	



PETE VOLBEDA Architecture Planning
 164 N 2ND AVE, SUITE 100, UPLAND CA 91786
 TEL 909 373 1150 FAX 909 373 1152

REMODEL OF RESIDENCE FOR SUE
 2112 ADAIRSAN MARINO



SCALE: 3/16" = 1'-0"

EXISTING WEST ELEVATION



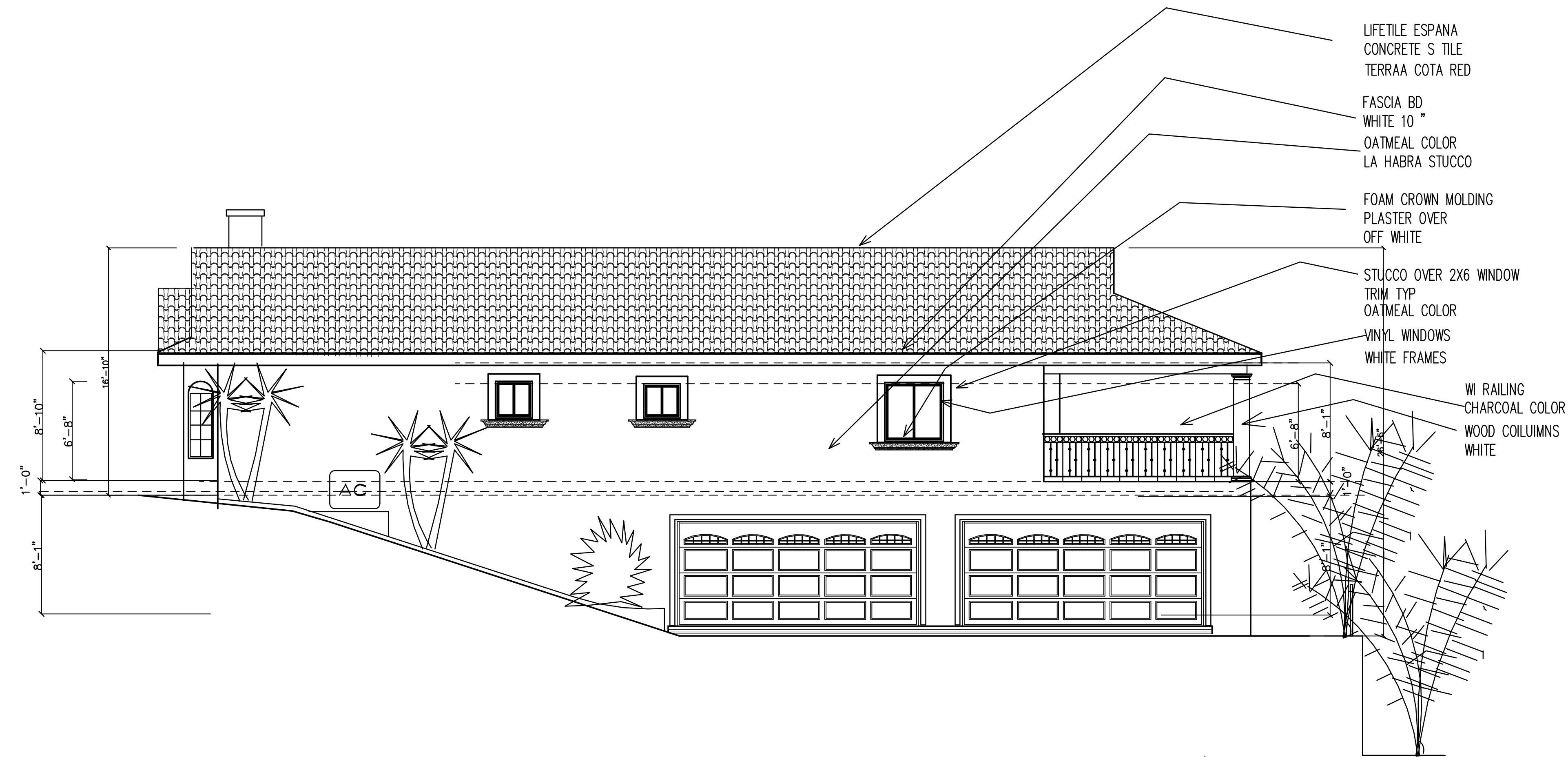
EXISTING EAST ELEVATION

SCALE: 3/16" = 1'-0"

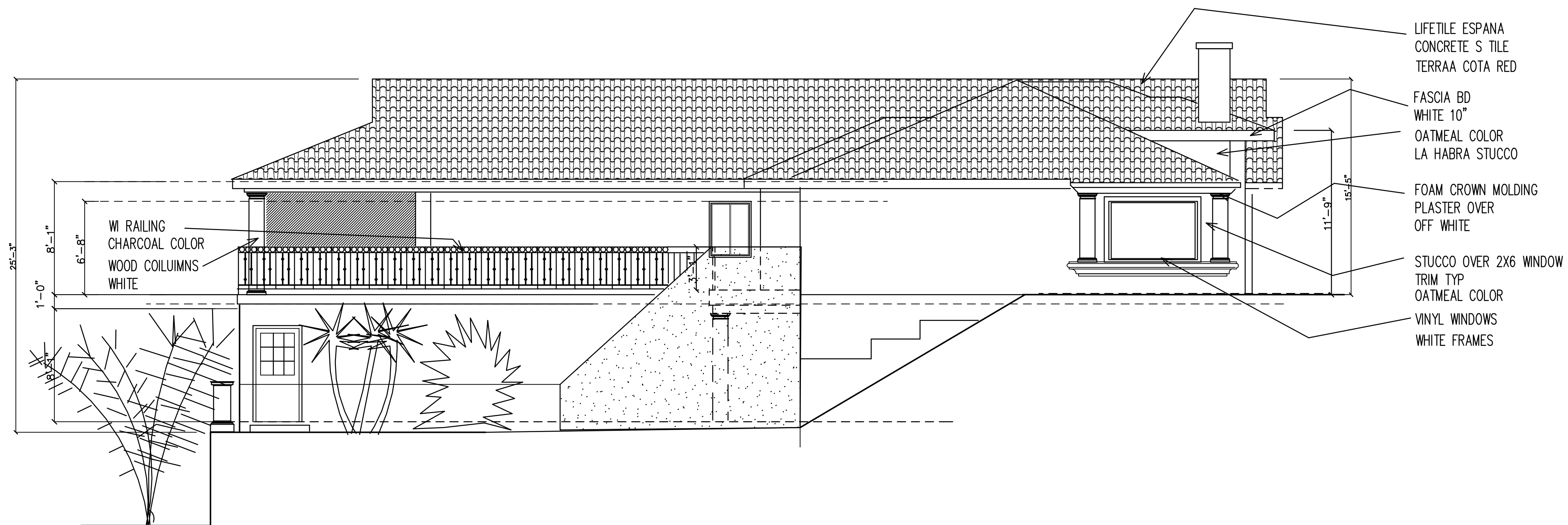
DATE	6/6/2025
PLAN CHECK	
APPROVED	
BID SET	
REVISION	
DATE	

DESIGN	
DRAWN BY:	
CHECKED	
OWNER APPROVAL	
PATN NAME	
CAD	
DATE	

ADD & REMODEL FOR KAUSHAL	2151 DERRINGER LN. DIAMOND BAR, CA 91765
SHEET	13
OF	

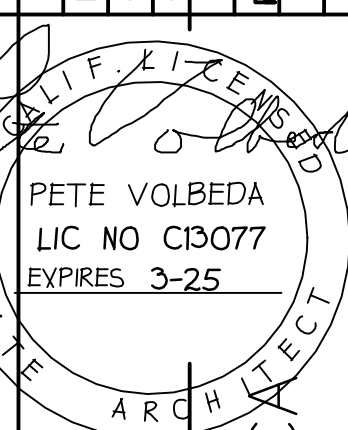


EXISTING NORTH ELEVATION SCALE: 3/16" = 1'-0"



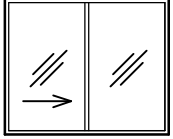
EXISTING SOUTH ELEVATION SCALE: 3/16" = 1'-0"

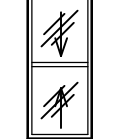
DATE	6/6/2025
PLAN CHECK	
APPROVED	
BID SET	
REVISION	
DATE	

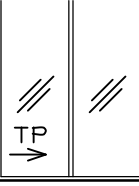


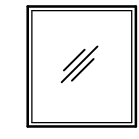
WINDOW SCHEDULE

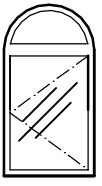
WINDOW LETTER	SIZE		WINDOW TYPE	FRAME MATERIAL	GLASS	THICKNESS	DETAILS
	WIDTH	HEIGHT					
A	2'-0"	6'-0"	VI	VN			TP
B	2'-0"	5'-0"	II				TP
C	8'-0"	6'-0"	VII				TP
D	5'-0"	5'-0"	VII				TP
E	6'-0"	6'-6"	VII				TP
F	2'-0"	2'-0"	IV				TP
G	2'-8"	3'-8"	II				TP
H	11'-0"	6'-0"	VII				TP
I	4'-6"	6'-0"	II				TP
J	10'-6"	6'-8"	III				TP
K	1'-8"	4'-8"	I				TP
L	6'-0"	5'-0"	VII				TP
M	6'-0"	5'-0"	IV				TP
N	2'-8"	6'-0"	IV	V			TP
O							

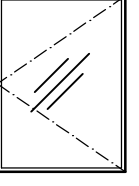

I SLIDER

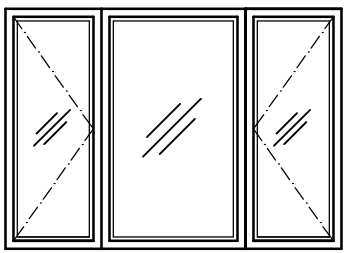

II SASH


III SLIDING GLASS DOOR


IV FIXED


V ARCH WDO SHASH


VI CASEMENT EGRESS WINDOW


VII XOX CASEMENT

NOTE: ALL WDO'S W/I 40" OF LOCKING DEVICE SHALL BE TEMPERED.

NOTE: ALL EXTERIOR DOORS AND WINDOW WILL MATCH THE EXISTING STYLE, TRIM AND METHOD OF OPERATION

FRAME MATERIAL / VINYL

PL PLATE

TP TEMPERED

OB OBSCURE

AL ALUMINUM

WD WOOD

DG DUAL GLASS

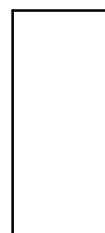
SG SINGLE GLASS

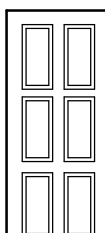
V VINYL

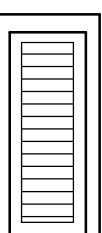
DOOR SCHEDULE

DOOR TYPE


A FLUSH


B ENTRY


C PANEL


E LOUVER

ALL EXTERIOR OPENINGS SHALL CONFORM TO CITY REQUIREMENTS

HARDWARE

A EXTERIOR LOCKSET

B FRONT DOOR LOCKSET

C PASSAGE

D BATHROOM

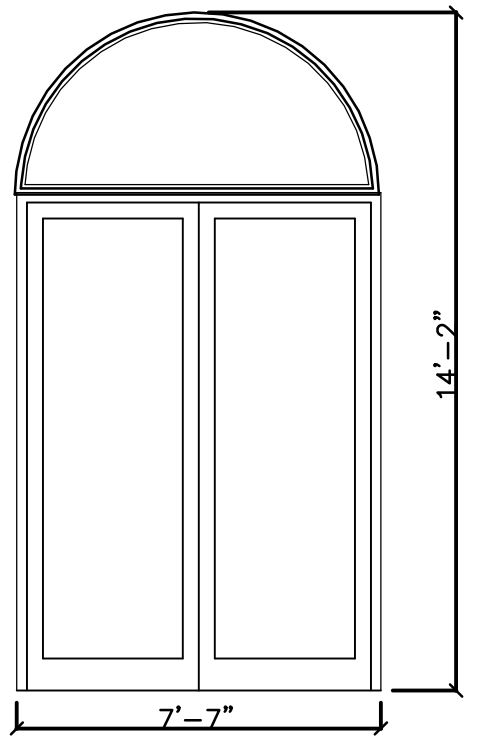
E BEDROOM/PRIVACY CLOSET

F SLIDING WARDROBE DOORS

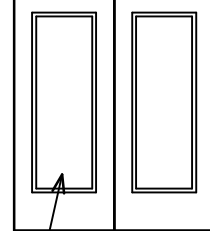
G DOUBLE ACTING, FLOOR HINGE

H TEMPERED GLASS BOTH PANES

DOOR NUMBER	SIZE		THICKNESS	DOOR TYPE	DOOR MATERIAL	FRAME MATERIAL	HARDWARE	LABEL IN MINUTES	DETAILS
	WIDTH	HEIGHT							
1	1'-1"	14'-2"	3/4"	D	WD	WD	B		EXTERIOR ENTRY DECORATIVE
2	3'-0"	6'-8"	3/4"	B	WD	WD	A		EXTERIOR ENTRY
3	2'-6"	6'-8"	3/4"	A	WD	WD	E		ROOMS SINGLE DOOR
4	(2)2'-6"	(2)6'-8"	3/4"	A	WD	WD	E		ROOMS DOUBLE DOOR
5	2'-0"	6'-8"	3/4"	A	WD	WD	D		BATHROOM
6	6'-6"	8'-0"	3/4"	E	WD	WD	TP		PATIO
7	15'-0"	8'-0"	3/4"	E	WD	WD	TP		PATIO
8	6'-6"	6'-8"	3/4"	E	WD	WD	TP		PATIO
9	5'-0"	6'-8"	3/4"	E	WD	WD	TP		PATIO
10	5'-0"	6'-8"	3/4"	E	WD	WD	TP		FIXED PATIO DOOR



① GLASS DECORATIVE DOOR



⑤ PATIO DOOR
TEMPERED GLASS

ADD & REMODEL FOR KAUSHAL

DESIGN

DATE

6/6/2025

DERRINGER DIAMOND BAR, CA

PLAN CHECK

DATE

6/6/2025

15

SHEET

OF

PETE VOLBEDA ARCHITECTURE Planning

164 N 2ND AVE, SUITE 100, UPLAND CA 91786

TEL 909 373 1150 FAX 909 373 1152

STATE OF CALIFORNIA ARCHITECT

PETE VOLBEDA

LIC NO C13077

EXPIRES 3-25



PLANNING COMMISSION AGENDA REPORT

TO: Chair and Members of the Planning Commission

FROM: Greg Gubman, Community Development Director

SUBJECT: Project Status Report

RECOMMENDATION:

Staff recommends the Planning Commission receive and file the Project Status Report dated September 23, 2025.

BACKGROUND/DISCUSSION:

Project Status Report has been prepared and is being presented for receipt and filing.

PREPARED BY:

Arlene Laviera, Administrative Coordinator, Community Development

ATTACHMENTS:

1. 09-23-25 project

CITY OF DIAMOND BAR
COMMUNITY DEVELOPMENT DEPARTMENT

PROPERTY LOCATION									
PLANNING COMMISSION REVIEW	File #	AP	Applicant	PC 09/23/25	CC 10/07/25	PC 10/14/25	CC 10/21/25	PC 10/28/25	CC 11/04/25
2151 Derringer Lane (Addition and remodel to single-family residence)	DR PL2025-17	RL	Pete Volbeda	PH					
ADMINISTRATIVE REVIEW									
Property Location	File #	AP	Applicant						
23923 Minnequa (Addition to Single-Family Residence)	MCUP PP PL2025-31	MN	Xiaolei Cao	Under Review					
PENDING ITEMS									
Property Location	File #	AP	Applicant	Status					
2720 Broken Feather (New Single-Family Residence)	DR PL2025-34	MN	Yao Pan	First incomplete letter sent 5/27/25 – waiting for additional information					
1741 Derringer Lane (New Single-Family Residence)	DR PL2025-62	MN	Ralph Poon	First incomplete letter sent 9/11/25 – waiting for additional information					
2001 Derringer Lane (2-lot subdivision)	TPM 83036 PL2021-46	MN	Gurbachan S. Juneja	Fifth incomplete letter sent 7/30/24 - waiting for additional information					
Gentle Springs Ln. and S. Prospectors Rd. (36 Senior Condos with Affordable Units)	GPA, ZC, VTTM, DR PL2021-23	GL	Tranquil Garden LLC	Under Review					
3354 Hawkwood (Addition to single-family residence)	DR PL2025-51	MN	Harry Kim	Under Review					
1400 Montefino Ave (49-unit for-sale development)	GPA, ZC, TPM, DR, & CUP PL2025-29	MN	Sarah Klaustermeier	First incomplete letter sent 9/4/25 – waiting for additional information					
23007 Ridge Line (New single-family residence)	DR PL2025-27	MN	Terry Chang	First incomplete letter sent 4/30/25 – waiting for additional information					
23901 Ridge Line (2-lot Subdivision)	TPM PL2022-119	DT/MN	Pete Volbeda	Third incomplete letter sent 8/20/25 – waiting for additional information					
22104 Rim Fire Lane (New Single-Family Residence)	DR PL2025-55	RL	Pete Volbeda	First incomplete letter sent 8/21/25 – waiting for additional information					
2867 Shadow Canyon (Addition and remodel to single-family residence)	DR PL2025-47	RL	Alan Gao	First incomplete letter sent 7/3/25 – waiting for additional information					

LEGEND

PH = PUBLIC HEARING
AP = ASSIGNED PLANNER
PC = PLANNING COMMISSION
CC = CITY COUNCIL
D = DISCUSSION ITEM

PENDING ITEMS (continued)				
Property Location	File #	AP	Applicant	Status
2887 Shadow Canyon (New single-family residence)	DR PL2025-9	MN	Peter Mattar	First incomplete letter sent 3/6/25 - waiting for additional information
Citywide Objective Design Standards	DCA PL2024-51	MN/GL	City of Diamond Bar	Under Review
SB9 & Reasonable Accommodations Ordinance	DCA PL2019-43	MN	City of Diamond Bar	Under Review
Walnut Valley Unified School District (Ordinance and Proposed Billboard)	DCA PL2024-40	RL/GL	WVUSD	Under Review