City of Diamond Bar Planning Commission Agenda

Brian Worthington, Vice Chair
Lee Mao, Commissioner
Surendra Mehta, Commissioner
Ruben Torres, Commissioner
William Rawlings, Commissioner

Meeting Date: Tuesday, March 24, 2026

Regular Meeting 6:30 p.m.

Diamond Bar City Hall – Windmill Community Room
21810 Copley Drive, Diamond Bar CA 91765

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AMERICANS WITH DISABILITY ACT ACCOMMODATION

In compliance with the Americans with Disabilities Act, if you need special assistance, a disability-related modification or accommodation, agenda materials in an alternative format, or auxiliary aids to participate in this meeting, please email the Community Development Department (commdev@diamondbarca.gov) or call 909-839-7030 as soon as possible. Providing at least 72 hours' notice will help ensure that reasonable arrangements can be made.

PUBLIC INPUT

The public may provide public comment by attending the meeting in person, by sending an email, or by logging into the teleconference. Please email the Community Development Department (commdev@diamondbarca.gov) by 4:00 p.m. on the day of the meeting and indicate in the Subject Line "FOR PUBLIC COMMENT." Written comments will be distributed to the Planning Commission Member and noted for the record at the meeting. Please note that the meeting will proceed at

Diamond Bar City Hall – Windmill Community Room should comments by teleconferencing become infeasible due to an internet or power outage or due to technical problems outside the City's control. If you wish to make certain that your comments are heard, please attend the meeting in person or send an email by 4:00 p.m. on the day of the meeting/hearing.

Speakers are limited to five (5) minutes per agenda item, unless the Chairperson determines otherwise. The Chairperson may adjust this time limit depending on the number of people wishing to speak, the complexity of the matter, the length of the agenda, the hour and any other relevant consideration. Speakers may address the Planning Commission only once on an agenda item, except during public hearings, when the applicant/appellant may be afforded a rebuttal. Any material to be submitted to the Planning Commission at the meeting should be submitted through the Administrative Coordinator.

Public comments must be directed to the Planning Commission. A person who disrupts the orderly conduct of the meeting after being warned by the Chairperson or the Chairperson's designee that their behavior is disrupting the meeting may result in the person being removed from the meeting.

1. CALL TO ORDER: 6:30 p.m., Windmill Room

PLEDGE OF ALLEGIANCE:

ROLL CALL: Commissioners Torres, Rawlings, Mao, Mehta, Vice Chair Worthington,

2. REORGANIZATION OF PLANNING COMMISSION

Selection of Chairperson and Vice Chairperson.

APPROVAL OF AGENDA: Chair

3. PUBLIC COMMENTS:

"Public Comments" is the time reserved on each regular meeting agenda to provide an opportunity for members of the public to directly address the Planning Commission on Consent Calendar items or other matters of interest not on the agenda that are within the subject matter jurisdiction of the Planning Commission. Although the Planning Commission values your comments, pursuant to the Brown Act, members of the Planning Commission may briefly respond to public comments if necessary, but no extended discussion and no action on such matters may take place. There is a five-minute maximum time limit when addressing the Planning Commission.

4. CONSENT CALENDAR:

All items listed on the Consent Calendar are considered by the Planning Commission to be routine and will be acted on by a single motion unless a Planning Commission Member or member of the public request otherwise, in which case, the item will be removed for separate consideration.

4.1 Planning Commission Minutes of the February 24, 2026, Meeting.

Recommended Action:
Staff recommends the Planning Commission approve the February 24, 2026, Planning Commission Meeting Minutes as received.

5. OLD BUSINESS:

6. NEW BUSINESS:

7. PUBLIC HEARINGS:

7.1 Development Review Planning Case No. PL2025-55

Environmental Assessment:
This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). Based on that assessment, the City has determined the project to be Categorically Exempt from the provisions of CEQA pursuant to the provisions of Article 19 Section 15303(a) (construction of a new single-family residence) of the CEQA Guidelines. No further environmental review is required.

Recommended Action:

Adopt the attached Resolution (Attachment A) approving Development Review No. PL2025-55, based on the findings of Diamond Bar City Code (DBCC) Sections 22.48, subject to conditions.

8. PLANNING COMMISSION COMMENTS/INFORMATION ITEMS:

9. STAFF COMMENTS/INFORMATIONAL ITEMS:

9.1 Project Status Report

Recommended Action:
Staff recommends the Planning Commission receive and file the Project Status Report dated March 24, 2026.

10. SCHEDULE OF FUTURE EVENTS:

10.1 City Council Meeting - April 7, 2026, 6:30 p.m., online teleconference and SCAQMD Main Auditorium, 21865 Copley Drive.

10.2 Planning Commission Meeting - April 14, 2026, 6:30 p.m., online teleconference and City Hall Windmill Room, 21810 Copley Drive.

10.3 City Council Meeting - April 21, 2026, 6:30 p.m., online teleconference and SCAQMD Main Auditorium, 21865 Copley Drive.

10.4 Planning Commission Meeting - April 28, 2026, 6:30 p.m., online teleconference and City Hall Windmill Room, 21810 Copley Drive.

11. ADJOURNMENT:

CERTIFICATION
I, Arlene Laviera, Administrative Coordinator, City of Diamond Bar, hereby certify, under penalty of perjury under the laws of the State of California that the foregoing notice was posted pursuant to Government Code Section 54950 Et. Seq., not less than 72 hours prior to the meeting, at the following locations: Diamond Bar City Hall Kiosk, Diamond Bar City Hall Bulletin Board, City website: www.diamondbarca.gov, and Diamond Bar Library.

Arlene Laviera
Administrative Coordinator
Date Posted: March 19, 2026

PLANNING COMMISSION AGENDA REPORT

TO: Chair and Members of the Planning Commission

FROM: Greg Gubman, Community Development Director

SUBJECT: Planning Commission Minutes of the February 24, 2026, Meeting.

RECOMMENDATION:

Staff recommends the Planning Commission approve the February 24, 2026, Planning Commission Meeting Minutes as received.

BACKGROUND/DISCUSSION:

Minutes have been prepared and are being presented for approval.

PREPARED BY:

Arlene Laviera, Administrative Coordinator, Community Development

ATTACHMENTS:

1. 02-24-26 Minutes

MINUTES OF THE CITY OF DIAMOND BAR
REGULAR MEETING OF THE PLANNING COMMISSION
February 24, 2026

1. CALL TO ORDER:

VC/Worthington called the meeting to order at 6:30 p.m. in the Windmill Community Room, 21810 Copley Drive, Diamond Bar, CA 91765.

PLEDGE OF ALLEGIANCE: Torres

ROLL CALL: Mehta, Torres, Mao, V/C Worthington

ABSENT: Rawlings

STAFF PRESENT: Greg Gubman, Community Development Director, Grace Lee, Planning Manager, Mayuko Nakajima, Senior Planner, Neal Payton, Consultant, Arlene Laviera, Administrative Coordinator; Dan Cruz, Assistant City Attorney.

2. PUBLIC COMMENTS: None.

3. CONSENT CALENDAR:

3.1 **MINUTES OF THE PLANNING COMMISSION REGULAR MEETING** – February 10, 2026.

3.2 **2025 GENERAL PLAN STATUS REPORT**

Mao moved, and Torres seconded to approve consent calendar, items 3.1 and 3.2. Motion carried 4-0-0-1 by the following Roll Call vote:

AYES:	4	COMMISSIONERS: Torres, Mao, Mehta, A/C Worthington
NOES:	0	COMMISSIONERS: None
ABSTAIN:	0	COMMISSIONERS: None
ABSENT:	1	COMMISSIONERS: Rawlings

4. OLD BUSINESS:

5. NEW BUSINESS:

6. PUBLIC HEARING:

6.1 Development Code Amendment No. PL2024-51 (Objective Design Standards):

Environmental Assessment:

On December 17, 2019, the Diamond Bar City Council certified Final EIR (No. SCH 2018051066) for the Diamond Bar 2040 General Plan and Climate Action Plan. In 2022, the City adopted the 2021-2029 Housing Element Update and concurrently amended the General Plan 2040 Land Use and Economic Development Element. The potential impacts of the 2021-2029 Housing Element Update and concurrent Land Use and Economic Development Element amendment were determined to be within the scope of the Certified EIR. The City concluded that neither a subsequent nor a supplemental EIR was required. Accordingly, the City adopted Addendum No. 1 to the Certified EIR on August 11, 2022.

The draft ODS anticipates residential and mixed-use development consistent with the assumptions in the 2040 General Plan and analyzed in the General Plan EIR. CEQA Guidelines Section 15164(a) states: "The lead agency or responsible agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred." Pursuant to CEQA Guidelines Section 15164, the City has prepared Addendum No. 2 to the General Plan EIR (Attachment 2), which demonstrates that adoption of the ODS would not result in a new significant impact or a substantial increase in the severity of previously identified significant impacts analyzed in the Certified EIR for the City General Plan 2040. In addition, the information throughout the addendum affirms that there is no new information of substantial importance that was previously unknown and is now available. Therefore, a subsequent EIR would not be required pursuant to Section 15162 of the State CEQA Guidelines. The City has thus determined an addendum to the previously Certified EIR to be the appropriate environmental compliance document for the proposed project.

Recommended Action:
Adopt the attached resolution recommending the City Council approve Development Code Amendment No. PL2024-51, amending Title 22 of the Diamond Bar City Code (DBCC), adding Chapter 22.19 to establish multifamily and mixed-use residential ODS

S/P Mayuko Nakajima presented the staff report.

Neal Payton, Torti Gallas + Partners consultant, provided an overview of the objective design standards.

VC/Worthington opened the public hearing.

Seeing no comments, closed the public hearing.

Torres moved, Mehta seconded to adopt **Resolution Nos. 2026-03** recommending the City Council approve Development Code Amendment No. PL2024-51, amending Title 22 of the Diamond Bar City Code (DBCC), adding Chapter 22.19 to establish multifamily and mixed-

use residential ODS. Motion carried 4-0-0-1 by the following Roll Call vote:

AYES:	4	COMMISSIONERS:	Mao, Mehta, Torres, VC/Worthington
NOES:	0	COMMISSIONERS:	None
ABSTAIN:	0	COMMISSIONERS:	None
ABSENT:	1	COMMISSIONERS:	Rawlings

7. PLANNING COMMISSION COMMENTS/INFORMATION ITEMS:

8. STAFF COMMENTS/INFORMATIONAL ITEMS:

CDD/Gubman confirmed the next scheduled Planning Commission on March 10, 2026 is cancelled.

9. SCHEDULE OF FUTURE EVENTS:

As noted in the agenda.

10. ADJOURNMENT: With no further business before the Planning Commission, VC/Worthington adjourned the Regular Planning Commission meeting at 6:52 p.m.

The foregoing minutes are hereby approved this 24th day of February, 2026.

Attest:

Respectfully Submitted,

_____
Greg Gubman, Community Development Director

_____
Brian Worthington, Vice Chairperson

PLANNING COMMISSION AGENDA REPORT

CASE/FILE NUMBER:	Development Review No. PL2025-55
PROJECT LOCATION:	22104 Rim Fire Lane Diamond Bar, CA 91765 APN: 8713-012-001
GENERAL PLAN DESIGNATION:	Rural Residential (RR)
ZONING DISTRICT:	Rural Residential (RR)
PROPERTY OWNER:	Sumer Vardhan 2127 Derringer Lane Diamond Bar, CA 91765
APPLICANT:	Pete Volbeda 164 N 2nd Avenue, Suite 100 Upland, CA 91786

SUMMARY:

The applicant is requesting Development Review (DR) approval for the construction of a new 7,435 square-foot, four-level, single-family residence with a 783 square-foot, three-car garage, 495 square feet of balcony area, 132 square feet of covered patio area, swimming pool and rear yard improvements on an 84,701 gross square-foot (1.94 gross acre) undeveloped lot.

RECOMMENDATION:

Adopt the attached Resolution (Attachment A) approving Development Review No. PL2025-55, based on the findings of Diamond Bar City Code (DBCC) Sections 22.48, subject to conditions.

BACKGROUND:

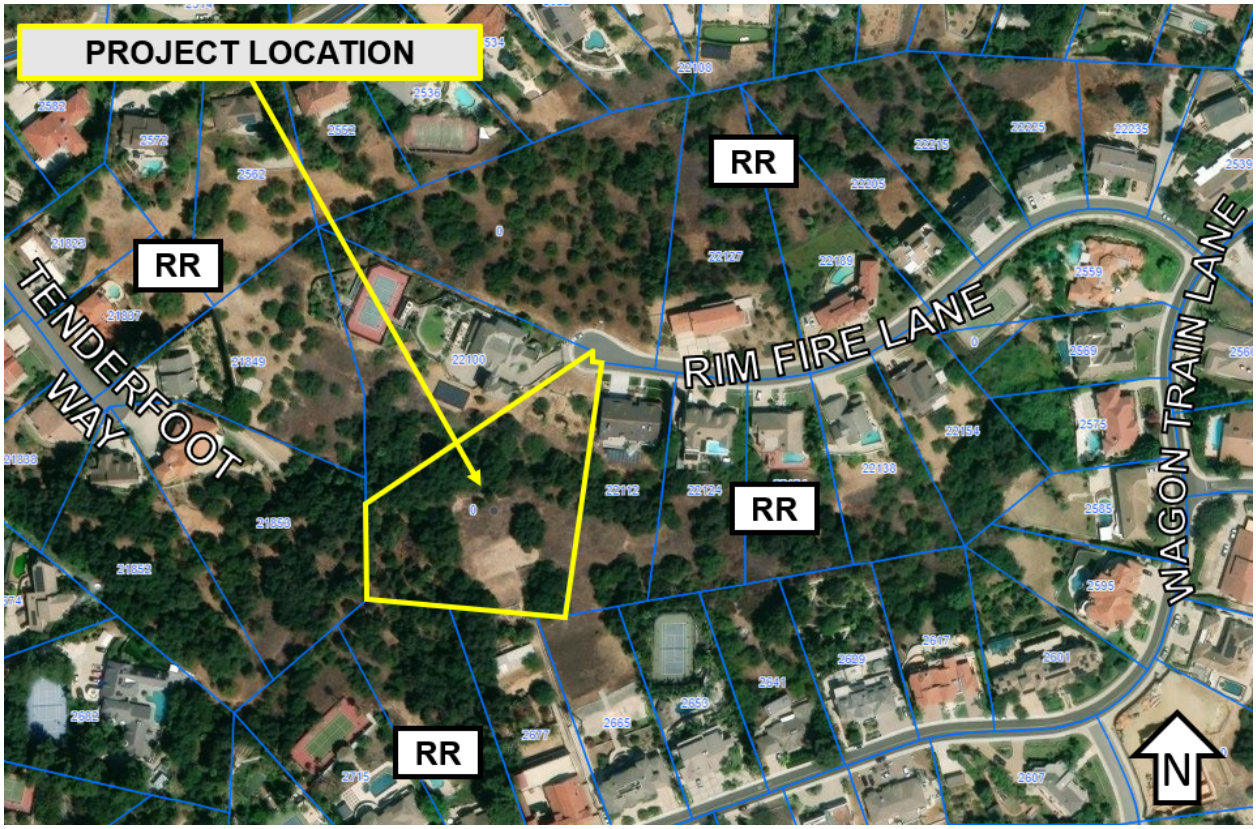
The project site is located in the Diamond Bar Country Estates (The Country), on the south side of Rim Fire Lane, west of Wagon Train Lane and east of Tenderfoot Way. The property is currently undeveloped. Protected trees currently on site will not be impacted by the proposed construction activity.

The proposed project is still under review by the Diamond Bar Country Estates Architectural Committee.

The property is legally described as Lot 38 of Tract No. 30578, and the Assessor's Parcel Number (APN) is 8713-012-001.

Site and Surrounding General Plan, Zoning and Land Uses

The image below highlights the subject property:



Site (Plan View) Aerial

Project Site

Adjacent Property to the East

Adjacent Property to the West

The following table summarizes the land use status of the subject property and its surroundings:

	General Plan Designation	Zoning District	Land Use
Site	**Rural Residential**	**RR**	**Undeveloped**
North	Rural Residential	RR	Single-Family Residential
South	Rural Residential	RR	Single-Family Residential
East	Rural Residential	RR	Single-Family Residential
West	Rural Residential	RR	Single-Family Residential

Project Description

Site Plan

As stated, the property's gross lot area is 84,701 square feet (1.94 acres), which includes a 29-foot wide private street easement along the frontage of Indian Creek Road. The property is an irregularly-shaped lot with a net buildable area (i.e., minus the private street easement, flood hazard area, and restricted use area) of 12,200 square feet (0.28 acres). The property is a hillside lot with an average descending slope of 53 percent from the private street easement to the rear property line.

The proposed house is situated 30 feet from the edge of the private street easement line. The entrance to the residence faces Rim Fire Lane and a single driveway provides access to a three-car garage, which also faces the street. As part of the proposed design, 495 square feet of balcony area and 132 square feet of covered patio area are proposed throughout the residence. Amenities such as a game room and exercise room are also proposed on the basement level.

Grading Plan

The applicant is proposing 4,100 cubic yards of imported fill soil throughout the property to create a buildable pad that can support the proposed residence and rear yard. Standard dump truck capacities range from 10 to 15 cubic yards, so the proposed amount of import would require between 273 to 410 hauls. The proposed grading activities are limited to areas in proximity to the residence, preserving some of the site's unimproved natural slope.

The applicant is proposing up to six tiers of retaining walls, with a maximum height of four feet, at the rear of the property to accommodate the property's steep slope, support fills above the natural grade, and expand the buildable pad for the house. All exposed portions of the proposed retaining walls will have a decorative finish, with the use of painted stucco to match the house.

Architecture

The architectural style is Mediterranean influenced with a low-pitched roof to reduce perceived height and bulk, arched window and door openings, recessed openings, decorative stucco detailing, and a balanced, asymmetrical façade. Building materials consist of terra cotta roofing in a red finish, smooth stucco wall surfaces with decorative stucco trim, precast stone and stacked stone accents at the base of the structure, and wood-framed windows and doors in an off-white finish. Additional architectural elements include corbel detailing, stucco window surrounds, and decorative garage doors that complement the overall façade. The exterior color palette utilizes warm, earth-toned hues consistent with Mediterranean architecture to preserve the hillside's aesthetic.

Proposed North (Front) Elevation

The proposed four-level house's floor plan is comprised of the following components:

- Basement Floor – Game room, exercise room, office, one bathroom, and two bedrooms (one with a walk-in closet) that share a bathroom.
- First Floor – Master suite with a bathroom and walk-in closet, one bedroom with a bathroom, office/library, and laundry room.
- Second Floor – Common areas (foyer, formal dining room, living room, family room, kitchen, pantry and butler rooms, and a powder room), and a three-car garage.
- Third Floor – A loft that serves as another common area.
- Balcony/covered patio areas totaling 627 square feet are proposed throughout the three levels of the residence.

The floor area distribution is summarized below:

PROJECT SUMMARY (in square footage)

Living Area: 1. Basement Floor: **1,870** 2. First Floor: **2,385** 3. Second Floor: **2,059** 4. Third Floor: **1,121**	**7,435**
Non-Livable Area: 1. Garage: **783** 2. Balconies: **495** 3. Covered Patios: **132**	**1,410**

TOTAL FLOOR AREA:	8,845

The height of the building is 35 feet, measured from the finished grade to the highest point of the roofline.

Landscape Plan

All existing trees currently on site will remain. The applicant is proposing to plant five trees throughout the front yard of the proposed residence; three fruitless olives, one strawberry, and one Cercis forest pansy tree. To complement the five trees, various 15-gallon, 5-gallon, and 1-gallon shrubs that have a variety of color, texture, and form are proposed throughout the front, side and rear yards. Overall, landscaping consists of drought tolerant and non-invasive species to minimize irrigation and reduce the area of turf. The project is required to comply with the City's Water Efficient Landscaping Ordinance, and compliance will be verified during building plan check and final inspections.

The subject property is located within the California Department of Forestry and Fire Protection's (CAL FIRE) "High Fire Hazard Severity Zone." Therefore, the proposed landscaping must comply with the County of Los Angeles Fire Department's Fuel Modification Plan requirements. The landscape plans will be submitted for review and approval by the Fire Department during building plan check.

ANALYSIS:

Review Authority

The proposed project requires Planning Commission review and approval of a Development Review (DR) application. The analysis that follows provides the basis for staff's recommendation to approve the DR application.

Development Review (DBCC Chapter 22.48)

New construction of a single-family home requires Planning Commission approval of a Development Review application. Development Review approval is required to ensure compliance with the City's General Plan policies, development standards, and design guidelines, and to minimize adverse effects of the proposed project upon the surrounding properties and the City in general.

As stated in Title 22 of the DBCC (Development Code), Section 22.48.010, the Development Review process was established to ensure that new development and additions to existing development are consistent with the General Plan "through the promotion of high functional and aesthetic standards to complement and add to the economic, physical, and social character" of Diamond Bar.

Development Standards: The following table compares the proposed project with the City's development standards for residential development in the RR zone:

Development Feature	Residential Development Standards	Proposed	Meets Requirements
Front Setback	30 feet	30 feet	Yes
Side Setbacks	15 feet on one side, 10 feet on the other	16'-8½"– west side 12'-3"– east side	Yes
Side Yard Minimum Between Adjoining Structures	25 feet	54'-10" – west side 26'-10"– east side	Yes

Rear Setback	25 feet	27'-4"	Yes
Lot Coverage	Maximum of 30%	4.28%	Yes
Max. Building Height	35 feet	35 feet	Yes
Parking	2-car garage	3-car garage	Yes
Retaining Wall Height	4-foot exposed (supporting fill)	4-foot exposed (supporting fill)	Yes

Compliance with Hillside Management Ordinance (DBCC Section 22.22)

The proposed project was reviewed for compliance with the City's Hillside Management Design Guidelines and regulations. The project complies with all of the regulations and guidelines to ensure that development will complement the character and topography of hillside areas set forth in the Development Code, and incorporates the following features:

- The maximum building height is 35 feet, where 35 feet is allowed;
- Architectural treatment is provided on all sides of the building with varying setbacks and projections;
- All proposed retaining walls associated with the building pads are at a maximum exposed height of four feet; and
- Earth-tone building materials and color schemes are used that blend in with the natural landscape.

The project complies with all of the regulations and guidelines to ensure that development will complement the character and topography of hillside areas set forth in the Development Code.

Compatibility with Neighborhood

The new house will not be intrusive to neighboring homes since the proposed house will preserve existing views for adjacent properties. The property to the east will continue to have views of the vista from their rear yard to the south. The property to the west will continue to have views of the vista from their rear yard to the west. All properties across the street to the north will continue to have views of the vista from their rear yard to the northeast.

The proposed house will be constructed on a building pad elevation comparable to the adjacent neighboring property located at 22112 Rim Fire Lane based on the topographic data from the City's GIS system. As a result, the proposed structure will not exceed the height of neighboring homes, thereby preserving existing view corridors and maintaining the visual scale and grade levels of the adjacent homes along Rim Fire Lane.

Aerial View of Project Site and Adjacent Properties

Aerial View Looking North from Rear of Project Site

In addition, maintaining privacy for surrounding properties was considered in the project's design. The proposed residence's orientation prevents any direct line of sight into the rear yards of the neighboring properties at 22100 and 22112 Rim Fire Lane. While the rear yards of properties along Wagon Train Lane, specifically those located across from the project site, will be visible from the proposed residence, this condition is consistent with existing neighborhood conditions where rear yards commonly face one another along the same side of Rim Fire Lane. As such, the proposed project will not result in privacy impacts beyond what currently exists at this location.

Aerial View Looking East towards Rim Fire Lane and Wagon Train Lane

The proposed house is comparable in mass and scale to existing homes on similar lots in The Country. The architecture in The Country is eclectic, and includes a variety of architectural designs. The scale and proportions of the proposed home are well balanced and appropriate for the site. In sum, the proposed project has been carefully designed to respect existing view corridors, maintain neighborhood scale and character, and minimize any adverse effects on adjacent residences.

The project also incorporates the principles of the City's Residential Design Guidelines as follows:

- The new single-family residence will conform to all development standards, including building height, lot coverage and setbacks, which is consistent with other homes in The Country;
- A gradual transition between the project and adjacent uses is achieved through appropriate setbacks, building height, landscaping, and window and door placement;
- The proposed new single-family residence is appropriate in mass and scale to the site;
- Elevations are treated with detailed architectural elements;
- The exterior finish materials and colors blend with the natural environment;
- Effective landscape design should serve the dual purpose of intrinsically enhancing a project setting, as well as integrating the landscaping into the overall architectural design. Staff finds the proposed plant palette to be diverse, and the plant selections are compatible with Southern California native landscapes; and
- The proposed new single-family residence will not obstruct slot views of the vista for nearby properties.

Additional Review

The Public Works Department and Building and Safety Division reviewed this project and provided conditions of approval, which are included in the attached resolution.

NOTICE OF PUBLIC HEARING:

On March 13, 2026, public hearing notices were mailed to property owners within a 1,000-foot radius of the project site. The notice was submitted to the *San Gabriel Valley Tribune* newspaper for publication on March 13, 2026. A notice display board was posted at the site, and a copy of the notice was posted at the City's designated community posting sites.

PUBLIC COMMENTS RECEIVED:

No comments have been received as of the publication date of this report.

ENVIRONMENTAL ASSESSMENT:

This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). Based on that assessment, the City has determined the project to be Categorically Exempt from the provisions of CEQA pursuant to the provisions of Article 19 Section 15303(a) (construction of a new single-family residence) of the CEQA Guidelines. No further environmental review is required.

PREPARED BY:

Rudy Lopez, Assistant Planner, Planning

ATTACHMENTS:

1. Draft Resolution No. 2026-XX
2. Final Set of Plans for PC

PLANNING COMMISSION
RESOLUTION NO. 2026-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DIAMOND BAR, CALIFORNIA, APPROVING DEVELOPMENT REVIEW NO. PL2025-55 FOR THE CONSTRUCTION OF A NEW 7,435 SQUARE-FOOT, FOUR-LEVEL, SINGLE-FAMILY RESIDENCE WITH 783 SQUARE-FOOT, THREE-CAR GARAGE, 495 SQUARE FEET OF BALCONY AREA, 132 SQUARE FEET OF COVERED PATIO AREA, SWIMMING POOL AND REAR YARD IMPROVEMENTS ON A 1.94 GROSS ACRE (84,701 GROSS SQUARE-FOOT) LOT LOCATED AT 22104 RIM FIRE LANE, DIAMOND BAR, CA 91765 (APN 8713-012-001).

A. RECITALS

1. The property owner, Sumer Vardhan, and applicant, Pete Volbeda, have filed an application for Development Review No. PL2025-55 for a property located at 22104 Rim Fire Lane, Diamond Bar, California, requesting Planning Commission approval to construct a new 7,435 square-foot, four-level, single-family residence with a 783 square-foot, three-car garage, 495 square feet of balcony area, 132 square feet of covered patio area, swimming pool and rear yard improvements.

   Hereinafter in this Resolution, the subject Development Review shall be referred to as the "Project."

2. The subject property is comprised of one parcel totaling 84,701 gross square feet (1.94 gross acres). It is located in the Rural Residential (RR) zone with an underlying General Plan land use designation of Rural Residential.

3. The legal description of the subject property is Lot 38 of Tract No. 30578, and the Assessor's Parcel Number (APN) is 8713-012-001.

4. On March 13, 2026, public hearing notices were mailed to property owners within a 1,000-foot radius of the Project site. The notice was submitted to the San Gabriel Valley Tribune newspaper for publication on March 13, 2026. Also, public notices were posted at the Project site and the City's designated community posting sites.

5. On March 24, 2026, the Planning Commission of the City of Diamond Bar conducted a duly noticed public hearing, solicited testimony from all interested individuals, and concluded said hearing on that date.

B. RESOLUTION

NOW, THEREFORE, it is found, determined and resolved by the Planning Commission of the City of Diamond Bar as follows:

1. The Planning Commission hereby specifically finds that all of the facts set forth in the Recitals, Part A, of this Resolution are true and correct; and

2. The Planning Commission hereby determines the Project to be Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to the provisions of Article 19 Section 15303(a) (construction of a new single-family residence) of the CEQA Guidelines. Therefore, no further environmental review is required.

C. FINDINGS OF FACT

Based on the findings and conclusions set forth herein and as prescribed under Diamond Bar City Code (DBCC) Section 22.48, this Planning Commission hereby finds as follows:

Development Review Findings (DBCC Section 22.48.040)

1. The design and layout of the proposed development is consistent with the applicable elements of the City's General Plan, City Design Guidelines, and development standards of the applicable district, design guidelines, and architectural criteria for special areas (e.g., theme areas, specific plans, community plans, boulevards or planned developments):

   The design of the Project is consistent with the applicable elements of the City's General Plan, City Design Guidelines and development standards. The City's General Plan Policy LU-P-56 requires that development on privately-owned, residentially designated land in hillside areas shall be compatible with the surrounding natural areas promoting design principles such as minimizing grading, preserving existing vistas, incorporate site and architectural design that is sensitive to the hillsides, and require fuel modification. To preserve the natural features of the canyon below and mimic the topography of the hillside, the applicant is proposing to fill 4,100 cubic yards, supported by terraced retaining walls, to create a buildable pad that can support the proposed residence and rear yard. All exposed portions of retaining walls will have a decorative finish, with each wall painted stucco to match the house as to not detract from the hillside. The Project will also be required to implement fuel modification.

   A gradual transition between the Project and adjacent uses is achieved through appropriate setbacks, building height, and window and door placement. Additionally, the design includes balcony/covered patio areas throughout the three levels of the home. All elevations are architecturally treated and strongly articulated through projections along the visible façade [Residential Design Guidelines – Architecture (3) page 35].

   The Project complies with all development standards of the Rural Residential zoning district such as required setbacks, building height, and lot coverage. The Project site is not part of any theme area, specific plan, community plan, boulevard or planned development.

2. The design and layout of the proposed development will not interfere with the use and enjoyment of neighboring existing or future developments, and will not create traffic or pedestrian hazards;

The proposed single-family house will not interfere with the use and enjoyment of neighboring existing or future developments because the Project is designed for single-family residential use and the surrounding uses are also single-family homes. The proposed house will not be intrusive to neighboring homes in that the proposed house will preserve existing views for adjacent properties. The property to the east will continue to have views of the vista from their rear yard to the south. The property to the west will continue to have views of the vista from their rear yard to the west. All properties across the street to the north will continue to have views of the vista from their rear yard to the northeast.

The proposed house will be constructed on a building pad elevation comparable to the adjacent neighboring property located at 22112 Rim Fire Lane based on the topographic data from the City's GIS system. As a result, the proposed structure will not exceed the height of neighboring homes, thereby preserving existing view corridors and maintaining the visual scale and grade levels of the adjacent homes along Rim Fire Lane.

In addition, maintaining privacy for surrounding properties was considered in the project's design. The proposed residence's orientation prevents any direct line of sight into the rear yards of the neighboring properties at 22100 and 22112 Rim Fire Lane. While the rear yards of properties along Wagon Train Lane, specifically those located across from the project site, will be visible from the proposed residence, this condition is consistent with existing neighborhood conditions where rear yards commonly face one another along the same side of Rim Fire Lane. As such, the proposed project will not result in privacy impacts beyond what currently exists at this location.

The proposed single-family house will not interfere with vehicular or pedestrian movements, such as access or other functional requirements of a single-family home because it complies with the requirements for driveway widths and exceeds the minimum number of required off-street parking spaces.

3. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood and will maintain and enhance the harmonious, orderly and attractive development contemplated by Chapter 22.48: Development Review Standards, the City's Design Guidelines, the City's General Plan, or any applicable specific plan;

The City's General Plan Policy LU-P-56 requires that residential development be compatible with the prevailing character of the surrounding neighborhood in terms of building scale, density, massing, and design. The City's General Plan Goal CC-G-4 also requires the preservation of the scale and character of existing residential neighborhoods and ensure sensitive transitions between densities and uses. The City's Design Guidelines Architecture (1) requires

compatibility with the surrounding character including harmonious building style, form, size, color, material and roofline.

The scale and proportions of the proposed residence are well balanced and appropriate for the 1.94 gross-acre site. The Mediterranean architectural style is compatible with other homes in the neighborhood since the architecture in The Country is eclectic, and includes a variety of architectural designs. The Project minimizes negative impacts on surrounding uses since the house will not block existing views from adjacent properties. In sum, the Project fits the character of the neighborhood on which it is proposed.

4. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, color, and will remain aesthetically appealing;

   The proposed residence will be designed in the Mediterranean architectural style. The Project is designed to have a variety of elements to reflect that architectural style, including the following design features: low-pitched roof to reduce perceived height and bulk, arched window and door openings, recessed openings, decorative stucco detailing, and a balanced, asymmetrical façade. Building materials consist of terra cotta roofing in a red finish, smooth stucco wall surfaces with decorative stucco trim, precast stone and stacked stone accents at the base of the structure, and wood-framed windows and doors in an off-white finish. Additional architectural elements include corbel detailing, stucco window surrounds, and decorative garage doors that complement the overall façade. Through the use of earth-toned shades and quality materials that have texture and color, the proposed residence will not be intrusive to neighboring homes. Also, landscaping is integrated into the site to complement the massing of the house and blend in with neighboring homes and the natural environment of the site in order to maintain a desirable environment. The scale and proportions of the proposed home are well balanced and appropriate for the site.

5. The proposed development will not be detrimental to public health, safety or welfare or materially injurious (e.g., negative effect on property values or resale(s) of property) to the properties or improvements in the vicinity; and

   Before the issuance of any City permits, the proposed Project is required to comply with all conditions within this Resolution, and with all other applicable Building and Safety Division, County of Los Angeles Fire Department, and Public Works Department requirements.

   Through the permit and inspection process, the referenced agencies will ensure that the proposed Project is not detrimental to the public health, safety or welfare or materially injurious to the properties or improvements in the vicinity.

6. The proposed Project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA).

The proposed Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as set forth under Article 19 Section 15303(a) (construction of a new single-family residence) of the CEQA Guidelines.

Based upon the findings and conclusion set forth above, the Planning Commission hereby approves this Application, subject to the following conditions:

1. Development shall substantially comply with the plans and documents presented to the Planning Commission at the public hearing.

2. Prior to building permit issuance, the required landscape plan shall be designed to meet the requirements of the Los Angeles County Fire Department's Fuel Modification Plan Guidelines in terms of plant selection, placement and maintenance. The final landscape and fuel modification plans shall be submitted to the Los Angeles Fire Department for review and approval.

3. Prior to building permit issuance, a Certification of Design, together with landscape and irrigation plans prepared by a licensed landscape architect, shall be submitted to the Planning Division for review and approval by the City's Consulting Landscape Architect. Landscape and irrigation plans shall comply with the updated Water Efficient Landscaping Ordinance.

4. Standard Conditions. The applicant shall comply with the standard development conditions attached hereto.

The Planning Commission shall:

a. Certify to the adoption of this Resolution; and

b. Forthwith transmit a certified copy of this Resolution, by certified mail to the property owner, Sumer Vardhan, 2127 Derringer Lane, Diamond Bar, CA 91765, and applicant, Pete Volbeda, 164 N 2nd Avenue Suite 100, Upland, CA 91786.

APPROVED AND ADOPTED THIS 24TH DAY OF MARCH, 2026, BY THE PLANNING COMMISSION OF THE CITY OF DIAMOND BAR.

By: _____
_____, Chairperson

I, Greg Gubman, Planning Commission Secretary, do hereby certify that the foregoing Resolution was duly introduced, passed, and adopted, at a regular meeting of the Planning Commission held on the 24th day of March, 2026, by the following vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST: _____

Greg Gubman, Secretary

COMMUNITY DEVELOPMENT DEPARTMENT

STANDARD CONDITIONS

USE PERMITS, COMMERCIAL AND RESIDENTIAL NEW AND REMODELED STRUCTURES

PROJECT #: **Development Review Planning Case No. PL2025-55**

SUBJECT: **For the construction of a new 7,435 square-foot, four-level, single-family residence with a 783 square-foot, three-car garage, 495 square feet of balcony area, 132 square feet of covered patio area, swimming pool and rear yard improvements on an 84,701 gross square-foot (1.94 gross acre) undeveloped lot.**

PROPERTY OWNER: **Sumer Vardhan, 2127 Derringer Lane, Diamond Bar, CA 91765**

APPLICANT: **Pete Volbeda, 164 N 2nd Avenue Suite 100, Upland, CA 91786**

LOCATION: **22104 Rim Fire Lane, Diamond Bar, CA 91765**

ALL OF THE FOLLOWING CONDITIONS APPLY TO YOUR PROJECT.

I. APPLICANT SHALL CONTACT THE PLANNING DIVISION AT (909) 839-7030, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

A. GENERAL REQUIREMENTS

1. The applicant shall defend, indemnify, and hold harmless the City, and its officers, agents and employees, from any claim, action, or proceeding to attack, set-aside, void or annul, the approval of Development Review Planning Case No. PL2025-55 brought within the time period provided by Government Code Section 66499.37. In the event the city and/or its officers, agents and employees are made a party of any such action:

   (a) Applicant shall provide a defense to the City defendants or at

the City's option reimburse the City its costs of defense, including reasonable attorneys' fees, incurred in defense of such claims.

(b) Applicant shall promptly pay any final judgment rendered against the City defendants. The City shall promptly notify the applicant of any claim, action of proceeding, and shall cooperate fully in the defense thereof.

2. This approval shall not be effective for any purpose until the applicant and owner of the property involved have filed, within twenty-one (21) days of approval of this Development Review Planning Case No. PL2025-55, at the City of Diamond Bar Community Development Department, their affidavit stating that they are aware of and agree to accept all the conditions of this approval. Further, this approval shall not be effective until the applicants pay remaining City processing fees, school fees and fees for the review of submitted reports.

3. All designers, architects, engineers, and contractors associated with this project shall obtain a Diamond Bar Business License; and a zoning approval for those businesses located in Diamond Bar.

4. Signed copies of Planning Commission Resolution No. 2026-XX, Standard Conditions, and all conditions of approval shall be included on the plans (full size). The sheet(s) are for information only to all parties involved in the construction/grading activities and are not required to be wet sealed/stamped by a licensed Engineer/Architect.

5. Prior to the plan check, revised site plans and building elevations incorporating all Conditions of Approval shall be submitted for Planning Division review and approval.

6. Prior to any use of the project site or business activity being commenced thereon, all conditions of approval shall be completed.

7. The project site shall be maintained and operated in full compliance with the conditions of approval and all laws, or other applicable regulations.

8. Approval of this request shall not waive compliance with all sections of the Development Code, all other applicable City Ordinances, and any applicable Specific Plan in effect at the time of building permit issuance.

9. All site, grading, landscape/irrigation, and roof plans, and elevation

plans shall be coordinated for consistency prior to issuance of City permits (such as grading, tree removal, encroachment, building, etc.,) or approved use has commenced, whichever comes first.

10. The hours during which construction activities causing the operation of any tools or equipment used in construction, drilling, repair, alteration, or demolition work are limited to Monday through Saturday, between the hours of 7:00 a.m. and 7:00 p.m., and are not allowed at any time on Sundays or holidays.

11. The property owner/applicant shall remove the public hearing notice board within three days of this project's approval.

12. The applicant shall comply with the requirements of City Planning, Building and Safety Divisions, Public Works Department, and the Fire Department.

13. Prior to issuance of building permits, the applicant shall record, and provide the City with a conformed recorded copy of, a Covenant and Agreement or similar document in a form approved by the City Attorney, which restricts the rental of rooms or other portions of the property under two or more separate agreements and prohibits use of the property as a boarding or rooming house, except to the extent otherwise permitted by the Diamond Bar City Code or applicable state or federal law.

14. Landscape plans prepared by a licensed landscape architect that complies with the City's water conservation landscaping requirement, along with a landscape deposit in the amount of $2,500 for landscape plan check review fees shall be required during building plan check [DBCC Section 8.14]. The landscape plans will be reviewed by the City's Consultant Landscape Architect to ensure this requirement is met.

B. FEES/DEPOSITS

1. Applicant shall pay development fees (including but not limited to Planning, Building and Safety Divisions, and Public Works Department) at the established rates, prior to issuance of building or grading permit (whichever comes first), as required by the City. School fees as required shall be paid prior to the issuance of building permit. In addition, the applicant shall pay all remaining prorated City project review and processing fees prior to issuance of grading or building permit, whichever comes first.

2. Prior to any plan check, all deposit accounts for the processing of

this project shall have no deficits.

C. TIME LIMITS

1. The approval of Development Review Planning Case No. PL2025-55 expires within two years from the date of approval if the use has not been exercised as defined per Diamond Bar City Code (DBCC) Section 22.66.050 (b)(1). In accordance with DBCC Section 22.60.050(c), the applicant may request, in writing, a one-year time extension for Planning Commission consideration. Such a request must be submitted to the Planning Division prior to the expiration date and be accompanied by the review fee in accordance with the fee schedule in effect at the time of submittal.

D. SITE DEVELOPMENT

1. This approval is for the construction of a new 7,435 square-foot, four-level, single-family residence with a 783 square-foot, three-car garage, 495 square feet of balcony area, 132 square feet of covered patio area, swimming pool and rear yard improvements at 22104 Rim Fire Lane, as described in the staff report and depicted on the approved plans on file with the Planning Division, subject to the conditions listed below.

2. The construction documents submitted for plan check shall be in substantial compliance with the architectural plans approved by the Planning Commission, as modified pursuant to the conditions below. If the plan check submittal is not in substantial compliance with the approved Development Review submittal, the plans may require further staff review and re-notification of the surrounding property owners, which may delay the project and entail additional fees.

3. To ensure compliance with the provisions of the Planning Commission approval, a final inspection is required from the Planning Division when work for any phase of the project has been completed. The applicant shall inform the Planning Division and schedule an appointment for such an inspection.

4. The above conditions shall run with the land and shall be binding upon all future owners, operators, or successors thereto of the property. Non-compliance with any condition of approval or mitigation measure imposed as a condition of the approval shall constitute a violation of the City's Development Code. Violations may be enforced in accordance with the provisions of the Development Code.

5. Failure to comply with any of the conditions set forth above or as subsequently amended in writing by the City, may result in failure to obtain a building final and/or a certificate of occupancy until full compliance is reached. The City's requirement for full compliance may require minor corrections and/or complete demolition of a non-compliant improvement, regardless of costs incurred where the project does not comply with design requirements and approvals that the applicant agreed to when permits were pulled to construct the project.

6. The project site shall be developed and maintained in substantial conformance with the approved plans submitted to, approved, and amended herein by the Planning Commission, on file with the Planning Division, the conditions contained herein, and the Development Code regulations.

7. All roof- or ground-mounted mechanical equipment (e.g., air conditioning, heating, ventilation ducts and exhaust, water heaters, etc.), waste and storage areas, and utility services shall be screened from public view from abutting public streets and rights-of-way, and abutting area(s) zoned for residential or open space uses, including views from above the subject project. The method of screening shall be architecturally compatible with other site development in terms of colors, materials, and architectural style subject to approval by the director. The screening design/construction shall blend with the design of the structure(s) and include appropriately installed and maintained landscaping when on the ground.

8. All structures, including walls, trash enclosures, canopies, etc., shall be maintained in a structurally sound, safe manner with a clean, orderly appearance. All graffiti shall be removed within 72 hours by the property owners/occupant.

9. All landscaping, structures, architectural features and public improvements damaged during construction shall be repaired or replaced upon project completion.

E. SOLID WASTE

1. The site shall be maintained in a condition, which is free of debris both during and after the construction, addition, or implementation of the entitlement approved herein. The removal of all trash, debris, and refuse, whether during or subsequent to construction shall be done only by the property owner, applicant or by a duly permitted waste contractor, who has been authorized by the City to provide collection, transportation, and disposal of solid waste from

residential, commercial, construction, and industrial areas within the City. It shall be the applicant's obligation to ensure that the waste contractor used has obtained permits from the City of Diamond Bar to provide such services.

2. Mandatory solid waste disposal services shall be provided by the City franchised waste hauler to all parcels/lots or uses affected by approval of this project.

II. APPLICANT SHALL CONTACT THE COUNTY OF LOS ANGELES FIRE DEPARTMENT, (909) 620-2402, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

A. FIRE PROTECTION STANDARDS

1. Comments will be provided upon acceptance of fees invoiced by the County.

2. Development shall be constructed to reduce the potential for spread of brushfire.

   (i) In the case of a conflict, where more restrictive provisions are contained in the current State and Local Building Code or in the Fire Code, the more restrictive provisions shall prevail.

   (ii) Roofs shall be covered with noncombustible materials as defined in the building code. Open eave ends shall be stopped in order to prevent bird nests or other combustible material lodging within the roof and to preclude entry of flames.

   (iii) Exterior walls shall be surfaced with noncombustible or fire-resistant materials.

   (iv) Balconies, patio roofs, eaves and other similar overhangs shall be of noncombustible construction or shall be protected by fire-resistant material in compliance with the building code.

3. All development shall be constructed with adequate water supply and pressure for all proposed development in compliance with standards established by the fire marshal.

4. A permanent fuel modification area shall be required around development projects or portions thereof that are adjacent or exposed to hazardous fire areas for the purpose of fire protection. The required width of the fuel modification area shall be based on applicable building and fire codes and a fire hazard analysis study developed by the fire marshal. In the event abatement is not performed, the council may instruct the fire marshal to give notice to the owner of the property upon which the condition exists to correct the prohibited condition. If the owner fails to correct the condition, the

council may cause the abatement to be performed and make the expense of the correction a lien on the property upon which the conditions exist.

5. Fuel modification areas shall incorporate soil erosion and sediment control measures to alleviate permanent scarring and accelerated erosion.

6. If the fire marshal determines in any specific case that difficult terrain, danger of erosion, or other unusual circumstances make strict compliance with the clearance of vegetation undesirable or impractical, the fire marshal may suspend enforcement and require reasonable alternative measures designed to advance the purposes of this chapter.

7. Special construction features may be required in the design of structures where site investigations confirm potential geologic hazards.

III. APPLICANT SHALL CONTACT THE PUBLIC WORKS DEPARTMENT, (909) 839-7040, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

A. GENERAL

1. Prior to issuance of a grading permit, the applicant shall submit an Erosion Control Plan concurrently with the grading plan to the Public Works Department for review and approval. The Erosion Control Plan shall clearly detail erosion control measures that will be implemented during construction. The Erosion Control Plan shall conform to National Pollutant Discharge Elimination System (NPDES) standards and incorporate the appropriate Best Management Practices (BMP's) as specified in the Storm Water BMP Certification. A Storm Water Pollution Prevention Plan (SWPPP) will be required for construction activity which disturbs one acre or greater of soil.

2. Per NPDES Permit (CAS004004) for MS4 Discharges within the Coastal Watershed of Los Angeles County (Order No. R4-2021-0105), a new single-family hillside home development project shall include mitigation measures to:

   (i) Conserve natural areas;

   (ii) Protect slopes and channels;

   (iii) Provide storm drain system stenciling and signage;

   (iv) Divert roof runoff to vegetated areas before discharge unless the diversion would result in slope instability; and

   (v) Direct surface flow to vegetated areas before discharge, unless the diversion would result in slope instability.

These mitigation measures shall be included with the submitted grading plans and implemented during construction.

3. Grading and construction activities and the transportation of equipment and materials and operation of heavy grading equipment shall be limited to between the hours of 7:00 a.m. and 5:00 p.m., Monday through Saturday. Dust generated by grading and construction activities shall be reduced by watering the soil prior to and during the activities and in accordance with South Coast Air Quality Management District Rule 402 and Rule 403. Reclaimed water shall be used whenever possible. Additionally, all construction equipment shall be properly muffled to reduce noise levels.

4. All improvements must be outside of the RUA (Restricted Use Area).

B. SOILS REPORT/GRADING/RETAINING WALLS

1. Prior to issuance of a grading permit, the applicant shall submit a geotechnical report concurrently with the grading plan to the Public Works Department for review and approval. The geotechnical report shall be prepared by a Geotechnical Engineer, licensed by the State of California.

2. Prior to issuance of a grading permit, the applicant shall submit drainage and grading plans to the Public Works Department for review and approval. Drainage and grading plans shall be prepared by a Civil Engineer, licensed by the State of California and in accordance with the City's requirements. A list of requirements for grading plan check is available from the Public Works Department. All grading (cut and fill) calculations shall be submitted to the City concurrently with the grading plan.

3. Finished slopes shall conform to Diamond Bar City Code Section 22.22.080-Grading.

4. All easements and flood hazard areas shall be clearly identified on the grading plan.

5. The grading plan shall show the location of any retaining walls and the elevations of the top of wall/footing/retaining and the finished grade on both sides of the retaining wall. Construction details for retaining walls shall be shown on the grading plan. Calculations and details of retaining walls shall be submitted to the Building and Safety Division for review and approval.

6. All equipment staging areas shall be located on the project site. Staging area, including material stockpile and equipment storage area, shall be enclosed within a 6-foot-high chain link fence. All access points in the defense shall be locked whenever the construction site is not supervised.

7. Grading of the subject property shall be in accordance with the California Building Code, City Grading Ordinance, Hillside Management Ordinance and acceptable grading practices.

8. The maximum grade of driveways serving building pad areas shall be 15 percent. Driveways with a slope of 15 percent shall incorporate grooves for traction into the construction as required by the City Engineer.

9. All slopes shall be seeded per landscape plan and/or fuel modification plan with native grasses or planted with ground cover, shrubs, and trees for erosion control upon completion of grading or some other alternative method of erosion control shall be completed to the satisfaction of the City Engineer and a permanent irrigation system shall be installed.

10. Prior to issuance of a grading permit, the applicant shall submit a stockpile plan to the Public Works Department for review and approval. Stockpile plan shall show the proposed location for stockpile for grading export materials, and the route of transport.

11. Prior to issuance of a grading permit, the applicant shall submit an approval letter from the Homeowner's Association for all proposed work within the private streets of Rim Fire Lane.

12. Prior to commencement of grading operations, a pre-construction meeting shall be held at the project site with the grading contractor, applicant, and city grading inspector at least 48 hours prior to work commencing.

13. Prior to issuance of building permits for the foundation of the residential structure, the applicant shall submit rough grade certifications by project soils and civil engineers and the as-graded geotechnical report to the Public Works Department for review and approval. Retaining wall permits may be issued without a rough grade certificate.

14. Prior to issuance of any project final inspections/certificate of occupancy, the applicant shall submit final grade certifications by project soils and civil engineers to the Public Works Department.

C. DRAINAGE

1. Prior to issuance of a grading permit, the applicant shall submit a detailed drainage system information of the lot with careful attention to any flood hazard area to the Public Works Department. All drainage/runoff from the development shall be conveyed from the site to the natural drainage course.

No on-site drainage shall be conveyed to adjacent parcels, unless that is the natural drainage course.

2. Prior to the issuance of a grading permit, a complete hydrology and hydraulic study shall be prepared by a Civil Engineer registered in the State of California to the satisfaction of the City Engineer and Los Angeles County Public Works Department.

D. UTILITIES

1. Underground utilities shall not be constructed within the drip line of any mature tree except as approved by a registered arborist.

IV. APPLICANT SHALL CONTACT THE BUILDING AND SAFETY DIVISION, (909) 839-7020, FOR COMPLIANCE WITH THE FOLLOWING CONDITIONS:

General Conditions:

1. Plans and construction shall conform to current State and Local Building Code (i.e. 2022 California Building Code series will apply) requirements and all other applicable construction codes, ordinances and regulations in effect at the time of permit issuance.

2. Implementation of the CAL Green Code shall be reflected on the plans, and certification shall be by a third party as required by the Building Division. Specific water, waste, low VOC, and related conservation measures shall be shown on plans. Construction shall conform to the current CAL Green Code.

Plan Check – Items to be addressed prior to plan approval:

3. The minimum design load for wind in this area is 110 M.P.H. exposures “C” and the site is within seismic zone D or E. The applicant shall submit drawings and calculations prepared by a California State licensed Architect/Engineer with wet stamp and signature.

4. This project shall comply with the energy conservation requirements of the State of California Energy Commission. All lighting shall be high efficacy or equivalent per the current California Energy Code 119 and 150(k).

5. Indoor air quality shall be provided consistent with ASHRAE 62.2 as required per California Energy Code 150(o).

6. Public Works/Engineering Department is required to review and approve grading plans that clearly show all finish elevations, drainage, and retaining wall(s) locations. These plans shall be consistent with the site plan

submitted to the Building & Safety Division.

7. The following statement shall be included on the plans: “Separate permits are required for retaining walls.”

8. This project shall comply with the energy conservation requirements of the State of California Energy Commission. All lighting shall be high efficacy or equivalent per the current California Energy Code 140.6 to 140.9.

9. Rooftop solar installations shall be provided in accordance with CA Energy Code 140.10.

10. New gas appliances shall be designed to be electric ready per CA Energy Code 150.0(t) to (v).

11. Design for future energy storage system shall be provided including 225 busbar rating of panel per CA Energy Code 150.0(s).

12. All balconies shall be designed for 1.5 times the live load for the area served per CBC Table 1607.1 and provide ventilation in the joist space per CBC 2304.12.2.6.

13. All easements shall be shown on the site plan.

14. Fire Department approval shall be required. Contact the Fire Department to check the fire zone for the location of your property. If this project is located in High Hazard Fire Zone, it shall meet requirements of the fire zone per CBC Chapter 7A.

    a. All unenclosed under-floor areas shall be constructed as exterior wall.
    b. All openings into the attic, floor and/or other enclosed areas shall be covered with corrosion-resistant wire mesh not less than 1/4 inch or more than 1/2 inch in any dimension except where such openings are equipped with sash or door.
    c. Eaves shall be protected.
    d. Exterior construction shall be one-hour or non-combustible.
    e. Fuel modification plans shall be approved through LA County Fire Fuel Modification Unit.
    f. LA County Fire shall approve plans for fire flow availability due to home being over 3600 sf as required per CFC Appendix B105.1.

15. All retaining walls shall be separately submitted to the Building & Safety and Public Works/Engineering Departments for review and approval.

16. A soils report is required per CBC 1803 and all recommendations of the soils report shall be adhered to.

17. Slope setbacks shall be consistent with California Building Code Figure 1805.3.1 and California Residential Code R403.1.7. Foundations shall provide a minimum distance to daylight.

18. Light and ventilation shall comply with CBC 1203 and 1205.

19. Design for future electric vehicle charging shall be provided consistent with CalGreen 4.106.4 or 5.106.5.3.

20. The dimension of the furthest occupiable area to an exit is 50' as required per CRC R311.4.

21. All existing foundations at the property shall be removed or incorporated onto the structural foundation plans.

Permit – Items required prior to building permit issuance:

22. Solid waste management of construction material shall incorporate recycling material collection per Diamond Bar City Code 8.16 of Title 8. The contractor shall complete all required forms and pay applicable deposits prior to permit.

23. Prior to building permit issuance, all school district fees shall be paid. Please obtain a form from the Building and Safety Division to take directly to the school district.

24. Submit grading plans clearly showing all finish elevations, drainage, and retaining wall locations. No building permits shall be issued prior to submitting a pad certification.

25. Sewer connections require sewer connection fees and approval from the LA County Sanitation District.

26. AQMD notification is required at least 10 days prior to any demolition. Proof of notification is required at permit issuance.

27. All workers on the job shall be covered by workers' compensation insurance under a licensed general contractor. Any changes to the contractor shall be updated on the building permit.

28. The basement retaining wall must be separated from the house plans and separately permitted in order to certify the building pad before permit issuance of the house structure.

Construction – Conditions required during construction:

29. Fire sprinklers are required for new single-family dwellings (CRC R313.2). Sprinklers shall be approved by LA County Fire Department prior to installation and shall be inspected at framing stage and finalization of construction.

30. Occupancy of the facilities shall not commence until all California Building Code and State Fire Marshal regulations have been met. The buildings shall be inspected for compliance prior to occupancy.

31. Every permit issued by the building official under the provisions of this Code shall expire and become null and void unless the work authorized by such permit is commenced within one year after permit issuance, and if a successful inspection has not been obtained from the building official within one-hundred-eighty (180) days from the date of permit issuance or the last successful inspection. A successful inspection shall mean a documented passed inspection by the city building inspector as outlined in Section 110.6.

32. All structures and property shall be maintained in a safe and clean manner during construction. The property shall be free of debris, trash, and weeds.

33. All equipment staging areas shall be maintained in an orderly manner and screened behind a minimum 6' high fence.

34. A height and setback survey may be required at completion of framing and foundations construction phases respectively.

35. The project shall be protected by a construction fence to the satisfaction of the Building Official, and shall comply with the NPDES & BMP requirements (sand bags, etc.). All fencing shall be view obstructing with opaque surfaces.

36. The applicant shall contact Dig Alert and have underground utility locations marked by the utility companies prior to any excavation. Contact Dig Alert by dialing 811 or their website at www.digalert.org.

37. The applicant shall first request and secure approval from the City for any changes or deviations from approved plans prior to proceeding with any work in accordance with such changes or deviations.

38. All glazing in hazardous locations shall be labeled as safety glass. The labeling shall be visible for inspection.

39. Pursuant to California Residential Code (CRC) Section R315, carbon monoxide detectors are required in halls leading to sleeping rooms.

40. Drainage patterns shall match the approved grading/drainage plan from the Public Works/Engineering Department. Surface water shall drain away from the building at a 2% minimum slope. The final as-built conditions shall match the grading/drainage plan or otherwise approved as-built grading/drainage plan.

41. Decks, roofs, and other flat surfaces shall slope at least 1/4”/ft with approved and listed water proofing material. Guardrails shall be provided for these surfaces at least 42” minimum in height, 4” maximum spacing between rails, and capable of resisting at least 20 pounds per lineal foot of lateral load.

42. Special inspections and structural observation will be required in conformance with CBC 1704 to 1709.

END

VERIFY ALL DIMENIONS IN FILED PRIOR TO STAR OF CONSTRUCTION NOTIFY ARCH OF ANY DISCREPANCIES PRIOR TO STARTING WORK

RESIDENCE FOR SUMER VARDHAN

LOT COVERAGE:

GROSS:		NET:
LOT AREA: 84,701 (1.94 ACRES)		12,200 SQ FT
FOOTPRINT: 3,371 SQ FT		
SECOND FLOOR (STREET LEVEL) AREA:	3,048.78 SQ FT	
LOFT CANTILEVER PORTION AREA:	56 SQ FT	
SECOND FLOOR BALCONIES AREA:	207 SQ FT	
FIRST FLOOR (MIDDLE) EXPOSED BALCONY AREA:	95 SQ FT	
SECOND FLOOR ROOF AREA:	221 SQ FT	
TOTAL	3,627.78 SQ FT	
LOT COVERAGE: 3.9%		
3,627.78 SQ FT / 84,701 SQ FT X 100 = 4.28%		27.6%

LIVING AREA BREAKDOWN:

FLOOR:	LIVING AREA:	BALCONY/PATIO:	GARAGE:	BACKYARD:
BASEMENT FLOOR	1,870 SQ FT	132 SQ FT		2,185 SQ FT
FIRST FLOOR (MIDDLE FLOOR)	2,385 SQ FT	288 SQ FT		
SECOND FLOOR (STREET LEVEL)	2,059 SQ FT	207 SQ FT	783 SQFT	
THIRD FLOOR (LOFT)	1,121 SQ FT			
SUB TOTAL:	7,435 SQ FT	627 SQ FT	783 SQ FT	

TOTAL LIVING AREA:	7,435 SQ FT + 627 SQ FT = 8,067 SQ FT
TOTAL GARAGE:	783 SQ FT
TOTAL BACKYARD:	2,185 SQ FT
TOTAL LANDSCAPING:	6,954 SQ FT

AVERAGE SLOPE

TOT LL OF CONTOUR 2390

LOT AREA Area = 84,701 SQ FT (GROSS)

I=CONTOUR INCREMENT IN FT
L LENGTH OF CONTOURS
A AREA OF LOT

$$S = \frac{100 \quad I \quad L}{A} = \frac{100 \quad 5 \quad 9000}{84{,}701} = 53\% \text{ AVE SLOPE}$$

PROJECT INFO:

OWNER: SUMER VARDHAN

OWNER ADDRESS:
-2127 DERRINGER DIAMOND BAR, CA 91765

PHONE: 909 861 6829

EMAIL: sumervardhan@yahoo.com

SITE ADDRESS:
22104 RIM FIRE LN,DIAMOND BAR,CA 91765

LEGAL LOT:
LOT 38 OF TRACT # 30578 IN THE CITY OF DIAMOND BAR, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
APN # 8713-012-001

GENRAL PLAN: RURAL RESIDENTIAL

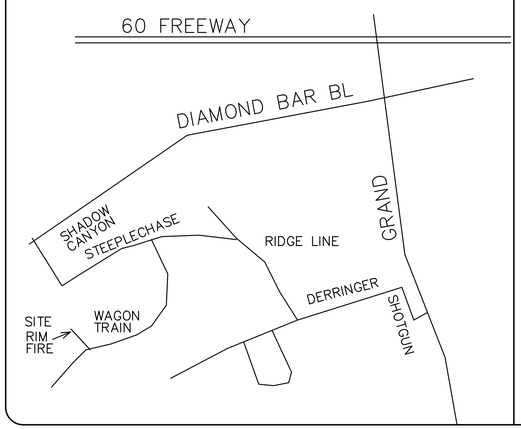
ZONNING: RR

EASEMENTS
- PRIVATE STREET
- FLOOD HAZARD AREA
- RESTRICTED USE AREA
- 84071 SF
- 1307+/- " P ST
- 9148 +/-" FH
- 61416 +/-" RU
- 12200+/- SF

PROJECT SUMMARY:
4-STORY RESIDENCE WITH ATTACHED GARAGE AND LEVEL 25 FT DEEP USABLE REAR BACKYARD. RETAINING WALLS TO ACCOMMODATE STEEP SITE. LANDSCAPING TO COMPLETE THE SITE

SCOPE OF WORK:
NEW FOUR STORY RESIDENCE WITH 7,435 SQ FT OF LIVING SPACE, 783 SQ FT ATTACHED 3-CAR GARAGE, 627 SQ FT OF BALCONY ,AND 6,954 SQ FT OF OF LANDSCAPING TO MEET CITY OF DIAMONDBAR GUIDLINES.

VICINITY MAP:



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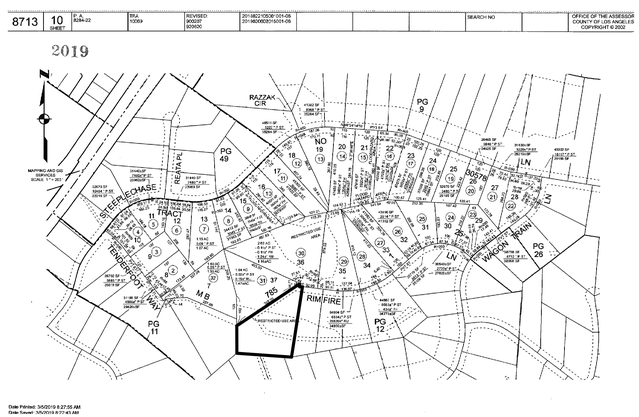

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16 GRADING PLAN 10 SCALE
L1-L3 LANDSCAPE PLAN

PETE VOLBEDA Architecture Planning
164 N 2nd AVE, SUITE 100 UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

2/6/2026

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PLAN CHECK
APPROVED
BID SET

PATH NAME: C:\ACCDWNRS\VARTZ, ESTELE CINE DIAMOND DWG\CS

COOVER SHEET

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 1 OF

EXISTING SITE PLAN

SCALE 1 INCH = 20 FT

PETE VOLBEDA Architecture Planning
215 N 2ND AVE, SUITE B , UPLAND CA 91786
TEL 909 373 1150 FAX 909 373152

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DATE	

DESIGN	
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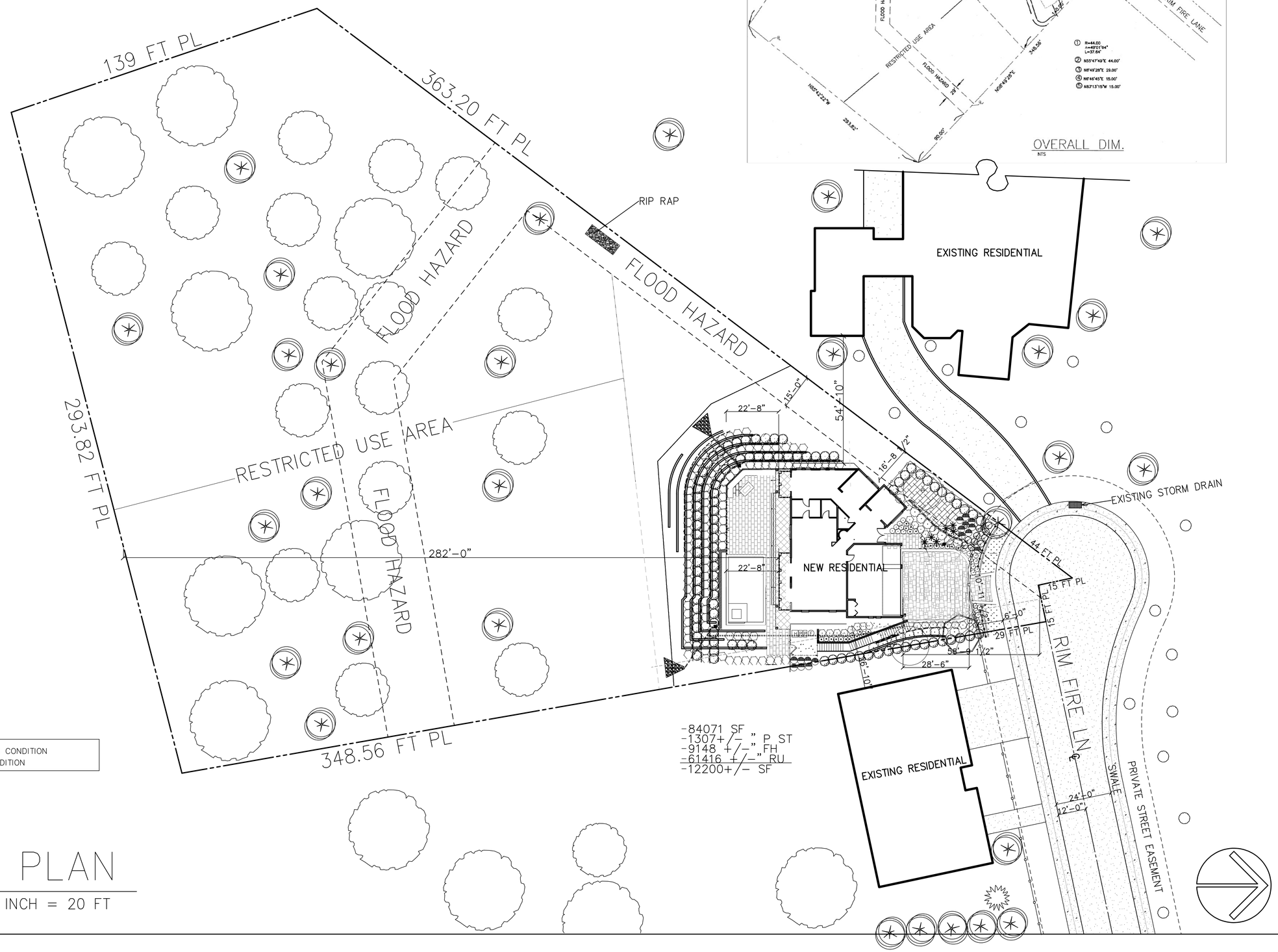
EXISTING SITE PLAN 1:20 SCALE

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 2 OF



SITE PLAN

SCALE 1 INCH = 20 FT

PETE VOLBEDA Architecture Planning
215 N 2ND AVE, SUITE B , UPLAND CA 91786
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DESIGN		DATE
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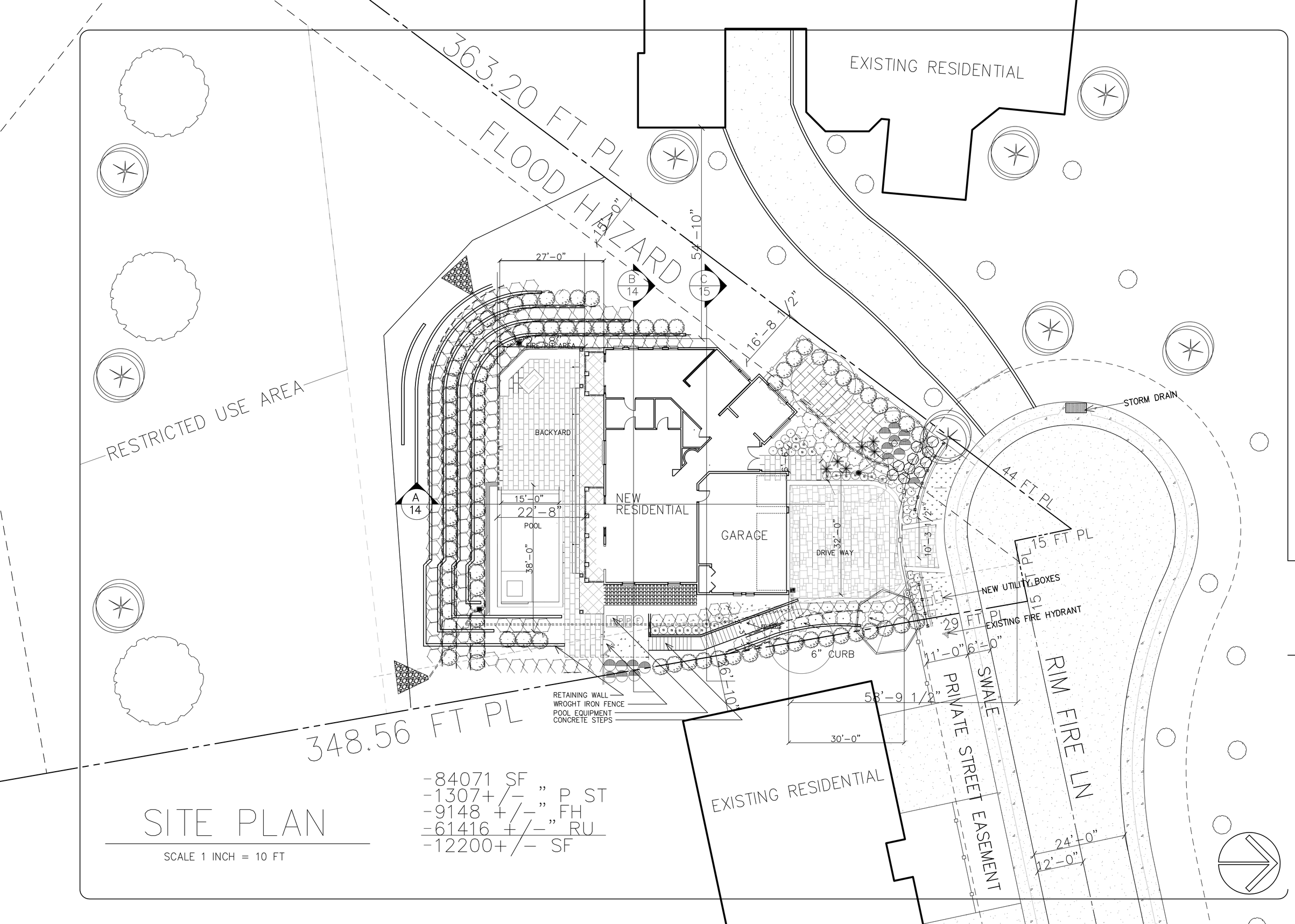
SITE PLAN 1:20 SCALE

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 3 OF



SITE PLAN

SCALE 1 INCH = 10 FT

PETE VOLBEDA Architecture Planning
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SITE PLAN 1:10 SCALE

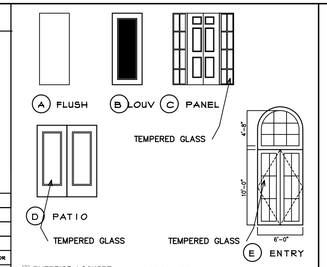
RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 4 OF

VERIFY ALL DIMENIONS IN FILED PRIOR TO STAR OF CONSTRUCTION NOTIFY ARCH OF ANY DISCREPANCIES PRIOR TO STARTING WORK

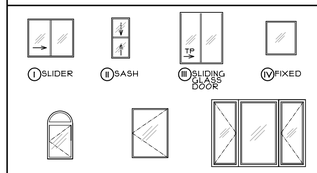
DOOR SCHEDULE

DOOR NUMBER	SIZE WIDTH	SIZE HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	FRAME MATERIAL	HARDWARE	LABEL IN MINUTES	DETAILS
1	6'-0"	10'-0"	1 3/8	E	WD	WD	B		
2	2'-10"	6'-8"	1 3/8	A	WD	WD	C		
3	2'-10"	6'-8"	1 3/8	A	WD	WD	D		
4	10'-0"	8'-8"	1 3/8	D	WD	WD	A		
5	5'-0"	6'-8"	1 3/8	A	WD	WD	E		DOUBLE DOOR
6	2'-10"	6'-8"	1 3/8	A	WD	WD	E		
7	5'-0"	6'-8"	1 3/8	A	WD	WD	G		SLIDING DOUBLE POCKET DOORS
8	2'-10"	6'-8"	1 3/8	A	WD	WD	F		
9	2'-10"	6'-8"	1 3/8	A	WD	WD	D		POCKET DOOR



A EXTERIOR LOCKSET
B FRONT DOOR LOCKSET
C PASSAGE
D BATHROOM
E BEDROOM/PRIVACY
F CLOSET
G SLIDING WARDROBE DOORS
H DOUBLE ACTING, FLOOR HINGE
TP TEMPERED GLASS BOTH PANES

WINDOW SCHEDULE

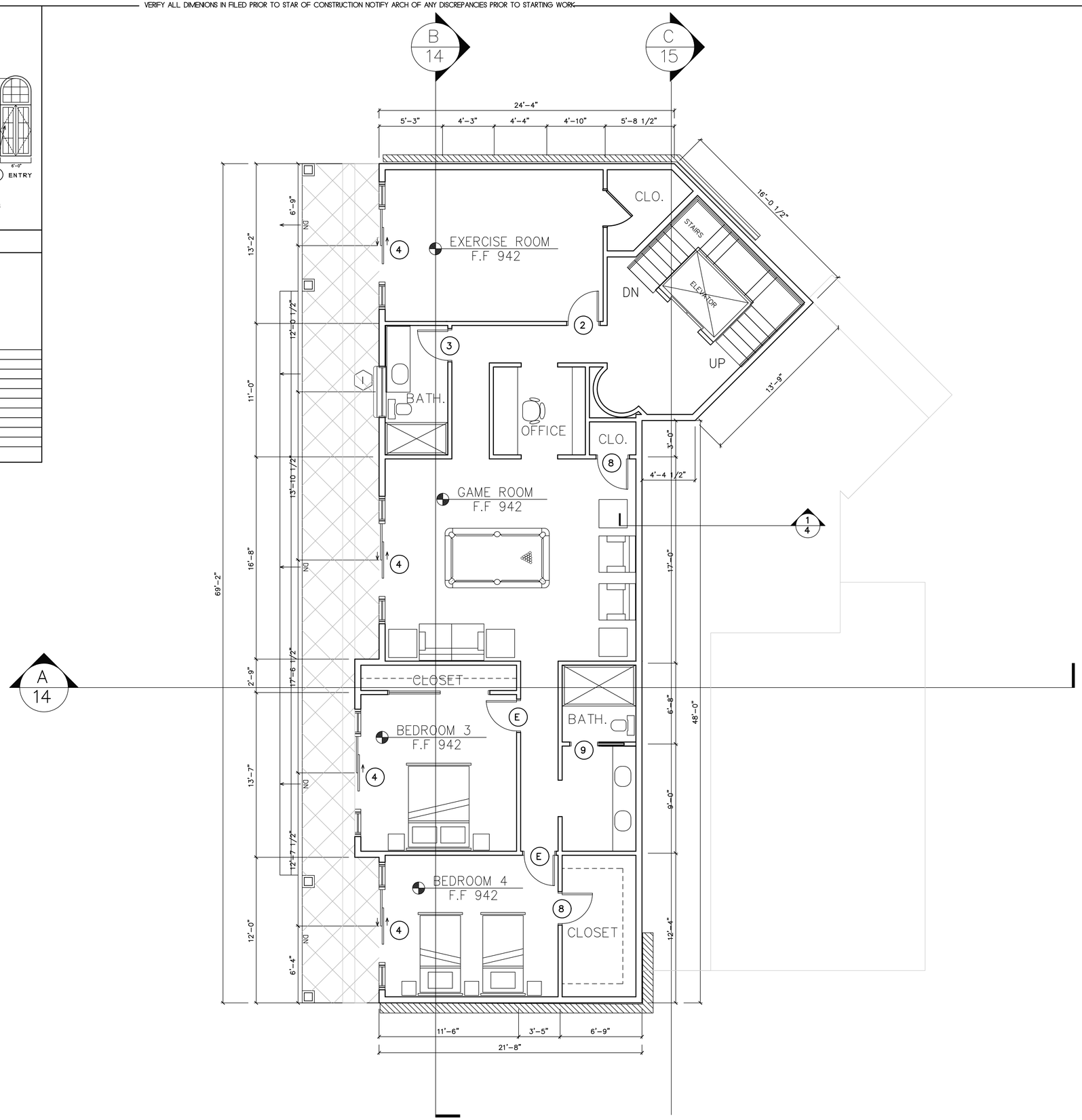


FRAME MATERIAL / VINYL

PL PLATE TP TEMPERED OBS OBSCURE AL ALUMINUM
WD WOOD DG DUAL GLASS SG SINGLE GLASS V VINYL

WINDOWS U VALUE .35
SHGC .35

WINDOW LETTER	SIZE WIDTH	SIZE HEIGHT	WINDOW TYPE	FRAME MATERIAL	GLASS	THICKNESS	DETAILS
A	6'-6"	13'-0"	IV	WD			
B	2'-0"	3'-0"	II	WD			
C	2'-0"	4'-0"	V	WD			
D	2'-6"	3'-6"	V	WD			
E	6'-0"	3'-0"	VI	WD			
F	3'-0"	4'-6"	V	WD			
G	2'-6"	5'-0"	VI	WD			
H	4'-0"	3'-0"	VI	WD			
I	4'-0"	2'-0"	I	WD			
J	2'-6"	4'-0"	VI	WD			



BASEMENT FLOOR PLAN

SCALE 1/4" = 1FT-0IN

PETE VOLBEDA Architecture Planning
164 N 2nd AVE, SUITE 100 UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

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OWNER APPROVAL	
PLAN CHECK	
APPROVED	
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PATH/NAME: C:\ACCDAMNGS\-LVATZ, REETA & CHNE DMNGS\DWG\5

BASEMENT FLOOR PLAN

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 5 OF

VERIFY ALL DIMENIONS IN FILED PRIOR TO STAR OF CONSTRUCTION NOTIFY ARCH OF ANY DISCREPANCIES PRIOR TO STARTING WORK

DOOR SCHEDULE

DOOR NUMBER	SIZE WIDTH	SIZE HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	FRAME MATERIAL	HARDWARE	LABEL IN MINUTES	DETAILS
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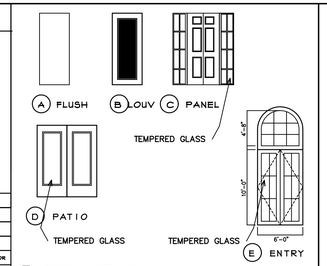
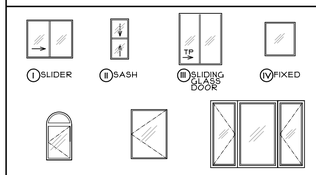
3	2'-10"	6'-8"	1 3/4	A	WD	WD	D		
4	10'-0"	6'-8"	1 3/4	D	WD	WD	A		
5	5'-0"	6'-8"	1 3/4	A	WD	WD	E		DOUBLE DOOR
6	2'-10"	6'-8"	1 3/4	A	WD	WD	E		
7	5'-0"	6'-8"	1 3/4	A	WD	WD	G		SLIDING DOUBLE POCKET DOORS
8	2'-10"	6'-8"	1 3/4	A	WD	WD	F		
9	2'-10"	6'-8"	1 3/4	A	WD	WD	D		POCKET DOOR



A EXTERIOR LOCKSET
B FRONT DOOR LOCKSET
C PASSAGE
D BATHROOM
E BEDROOM/PRIVACY
F CLOSET
G SLIDING WARDROBE DOORS
H DOUBLE ACTING, FLOOR HINGE
TP TEMPERED GLASS BOTH PANES

WINDOW SCHEDULE



FRAME MATERIAL / VINYL

PL PLATE TP TEMPERED OBS OBSCURE AL ALUMINUM
WD WOOD DG DUAL GLASS SG SINGLE GLASS V VINYL

WINDOWS U VALUE .35
SHGC .35

WINDOW LETTER	SIZE WIDTH	SIZE HEIGHT	WINDOW TYPE	FRAME MATERIAL	GLASS	THICKNESS	DETAILS
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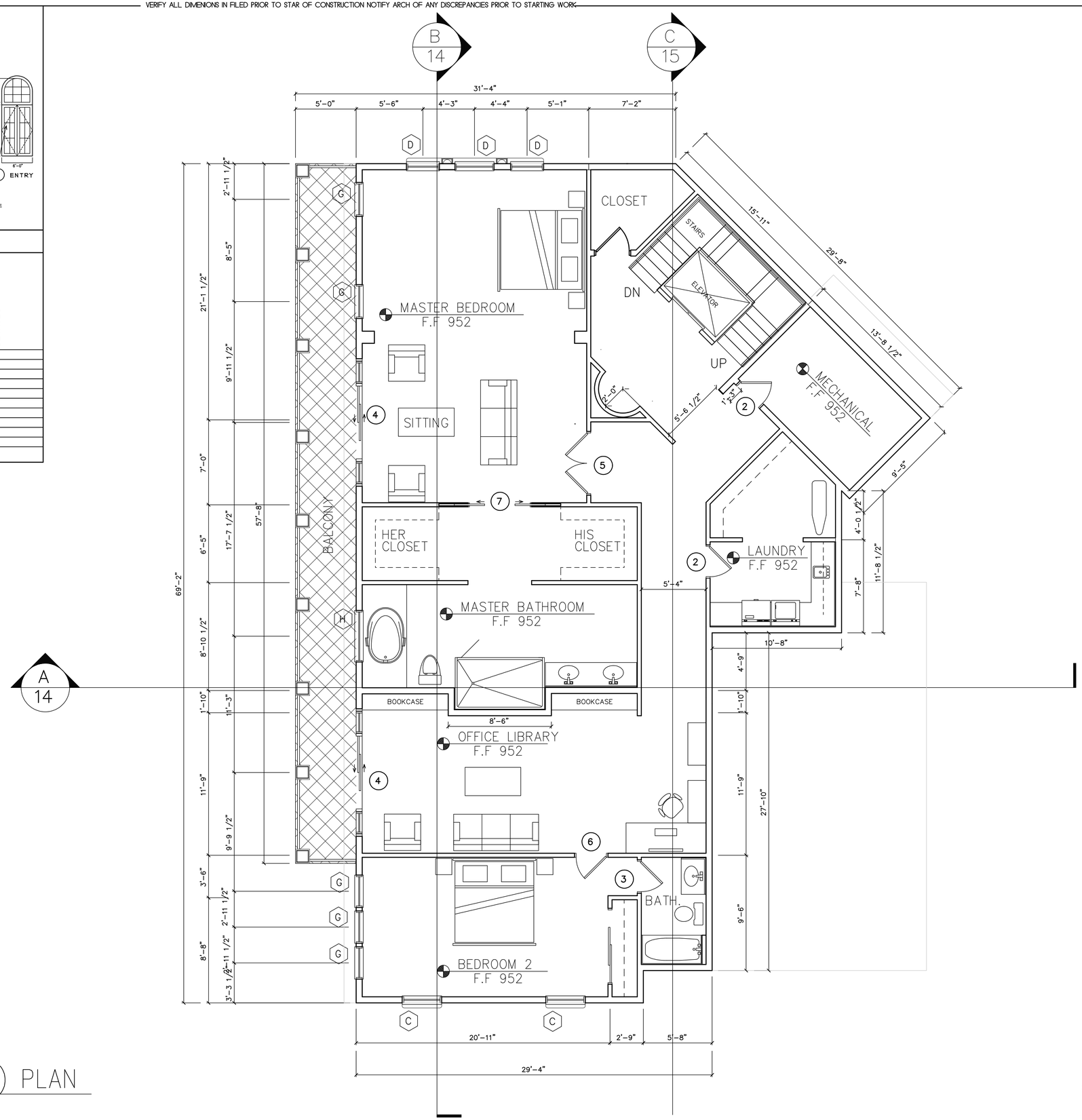
D	2'-6"	3'-6"	V	WD			
E	6'-0"	3'-0"	VI	WD			
F	3'-0"	4'-6"	V	WD			
G	2'-6"	5'-0"	VI	WD			
H	4'-0"	3'-0"	VI	WD			
I	4'-0"	2'-0"	I	WD			
J	2'-6"	4'-0"	VI	WD			



FIRST FLOOR (MIDDLE FLOOR) PLAN

SCALE 1/4" = 1FT-0IN

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164 N 2nd AVE, SUITE 100 UPLAND CA 91786
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2/6/2026

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	APPROVED
	BID SET

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OWNER APPROVAL

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FIRST FLOOR (MIDDLE FLOOR) PLAN

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 6 OF

VERIFY ALL DIMENIONS IN FILED PRIOR TO STAR OF CONSTRUCTION NOTIFY ARCH OF ANY DISCREPANCIES PRIOR TO STARTING WORK

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3	2'-10"	6'-8"	1 3/4	D	WD	WD	D		
4	10'-0"	6'-8"	1 3/4	D	WD	WD	A		
5	5'-0"	6'-8"	1 3/4	A	WD	WD	E		DOUBLE DOOR
6	2'-10"	6'-8"	1 3/4	A	WD	WD	E		
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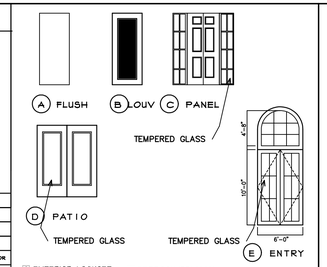

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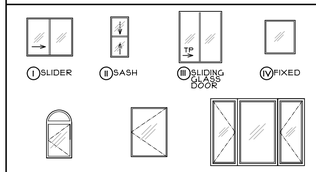
H DOUBLE ACTING, FLOOR HINGE
TP TEMPERED GLASS BOTH PANES

WINDOW SCHEDULE



FRAME MATERIAL / VINYL

PL PLATE TP TEMPERED OBS OBSCURE AL ALUMINUM
WD WOOD DG DUAL GLASS SG SINGLE GLASS V VINYL

WINDOWS U VALUE .35
SHGC .35

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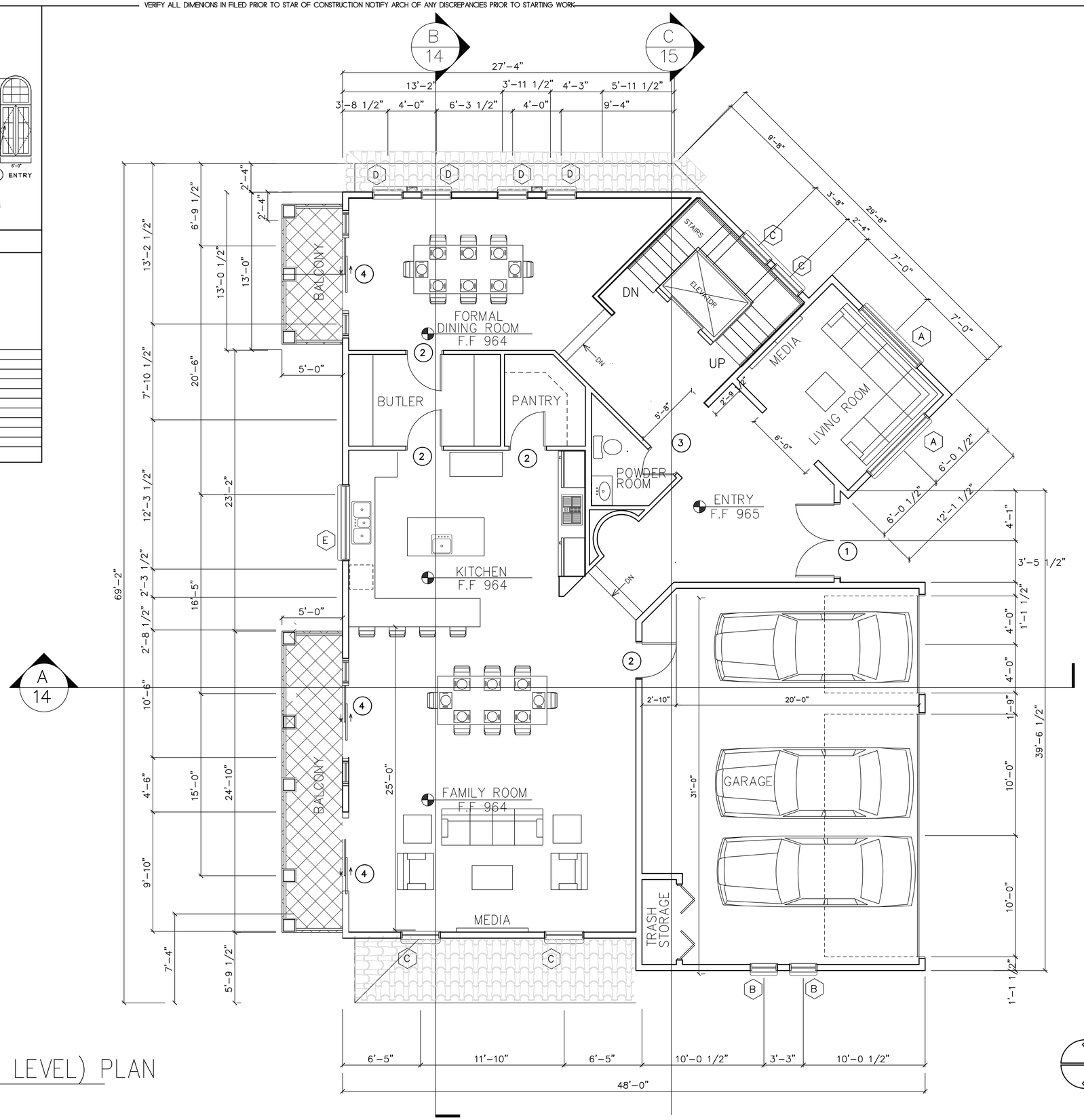
C	2'-0"	4'-0"	V	WD			
D	2'-6"	3'-6"	V	WD			
E	6'-0"	3'-0"	VI	WD			
F	3'-0"	4'-6"	V	WD			
G	2'-6"	5'-0"	VI	WD			
H	4'-0"	3'-0"	VI	WD			
I	4'-0"	2'-0"	I	WD			
J	2'-6"	4'-0"	VI	WD			



TOP/SECOND FLOOR (STREET LEVEL) PLAN

SCALE 1/4" = 1FT-0IN

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164 N 2nd AVE, SUITE 100 UPLAND CA 91786
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PATH:NAME C:\ACCDWNREV\ARTZ, STEFFE CHNE DWG\ND DWG'S

SECOND FLOOR (STREET LEVEL) PLAN

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 7 OF

VERIFY ALL DIMENIONS IN FILED PRIOR TO STAR OF CONSTRUCTION NOTIFY ARCH OF ANY DISCREPANCIES PRIOR TO STARTING WORK

DOOR SCHEDULE

DOOR NUMBER	SIZE WIDTH	SIZE HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	FRAME MATERIAL	HARDWARE	LABEL IN MINUTES	DETAILS
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2	2'-10"	6'-8"	1 3/4	A	WD	WD	C		
3	2'-10"	6'-8"	1 3/4	A	WD	WD	D		
4	10'-0"	6'-8"	1 3/4	D	WD	WD	A		
5	5'-0"	6'-8"	1 3/4	A	WD	WD	E		DOUBLE DOOR
6	2'-10"	6'-8"	1 3/4	A	WD	WD	E		
7	5'-0"	6'-8"	1 3/4	A	WD	WD	G		SLIDING DOUBLE POCKET DOORS
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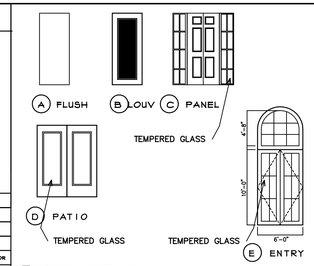
9	2'-10"	6'-8"	1 3/4	A	WD	WD	D		POCKET DOOR



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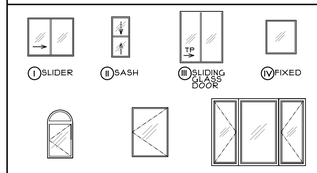
TP TEMPERED GLASS BOTH PANES

WINDOW SCHEDULE



FRAME MATERIAL / VINYL

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WD WOOD DG DUAL GLASS SG SINGLE GLASS V VINYL

WINDOWS U VALUE .35
SHGC .35

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E	6'-0"	3'-0"	VI	WD			
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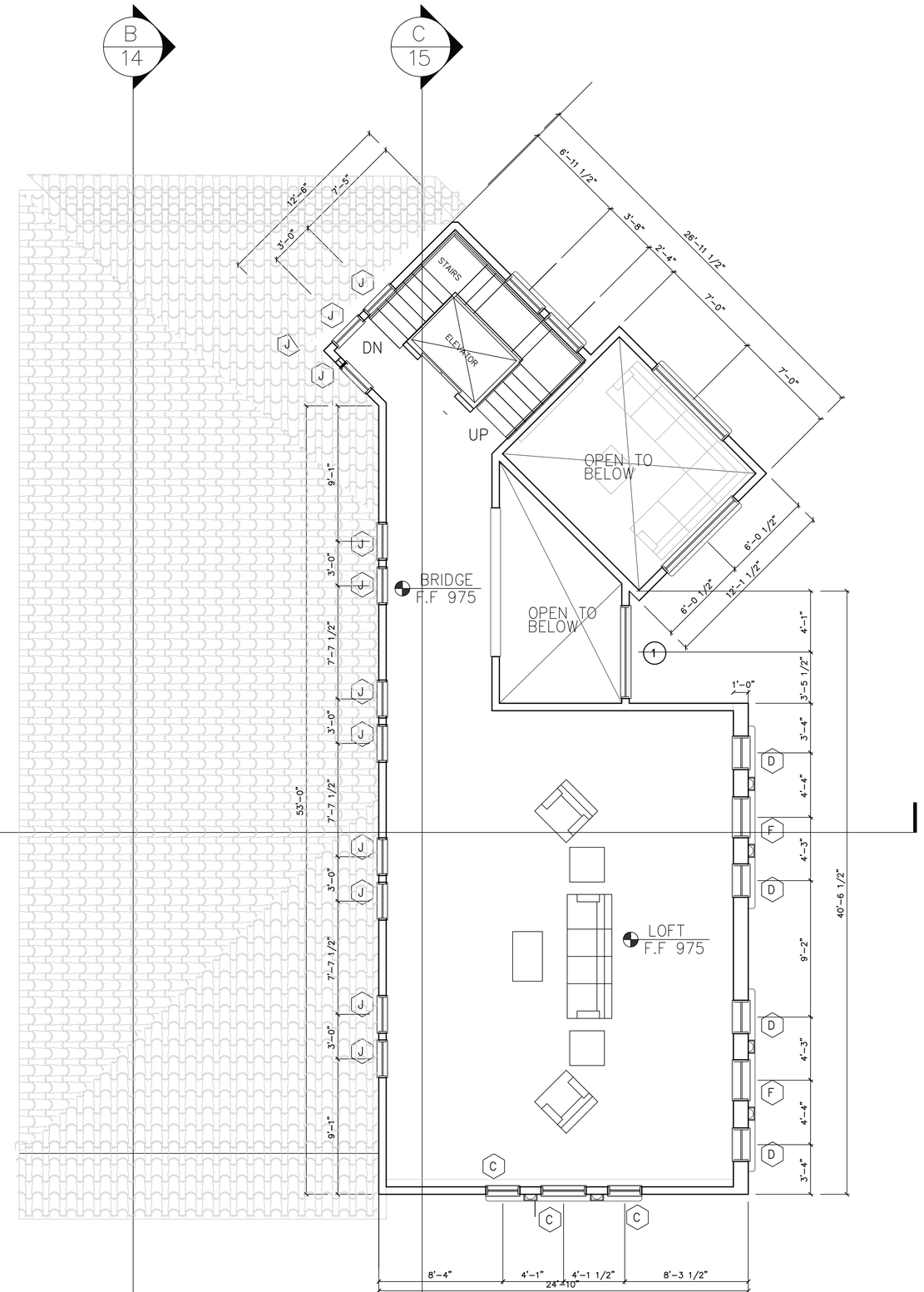
G	2'-6"	5'-0"	VI	WD			
H	4'-0"	3'-0"	VI	WD			
I	4'-0"	2'-0"	I	WD			
J	2'-6"	4'-0"	VI	WD			



THIRD FLOOR (LOFT) PLAN

SCALE 1/4" = 1FT-0IN

PETE VOLBEDA Architecture Planning
164 N 2nd AVE, SUITE 100 UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

2/6/2026

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DATE	
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BID SET	

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CHECKED
OWNER APPROVAL

PATH NAME: C:\ACCDWNRER\VARTZ, STEERLE CHASE DIAMOND\MDCS

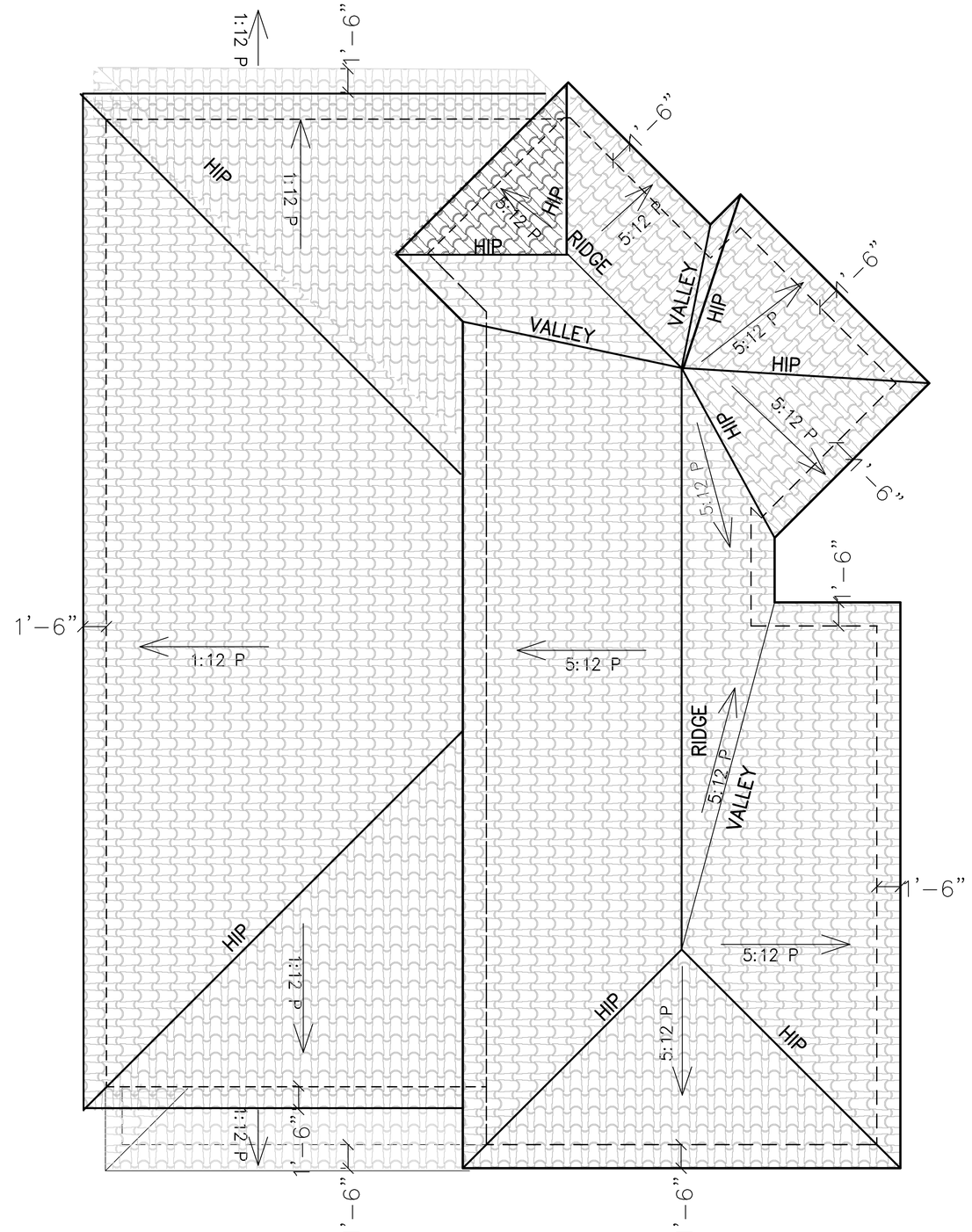
THIRD FLOOR (LOFT) PLAN

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 8 OF

ROOF PLAN NOTES

1 ROOFING SHALL BE CONCRETE ROOF TILE LIFETILE ESR 3284 CLASSIC 100
2 ROOF PITCH 4:12 UNLESS NOTED OTHERWISE
3 ROOF SHEATHING SHALL BE 1/2 CDX PLYWOOD 32/16 NAIL W/ 8d OC 6" OC EDGE AND BOUND AND 12" OC FIELD
4 ROOF OVERHANG TO BE 2'-0"
5 TRUSSES @ 24"OC
6 PROVIDE ATTIC VENT 1 GABLE VENT OF 14" X 24"



ROOF PLAN

SCALE 1/4" = 1FT-0IN

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164 N 2nd AVE, SUITE 100 UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

2/6/2026

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APPROVED	
BID SET	

PATH NAME C:\ACCOMMES\KATZ, STEFFE & CHNE DIMOND BA\DCS

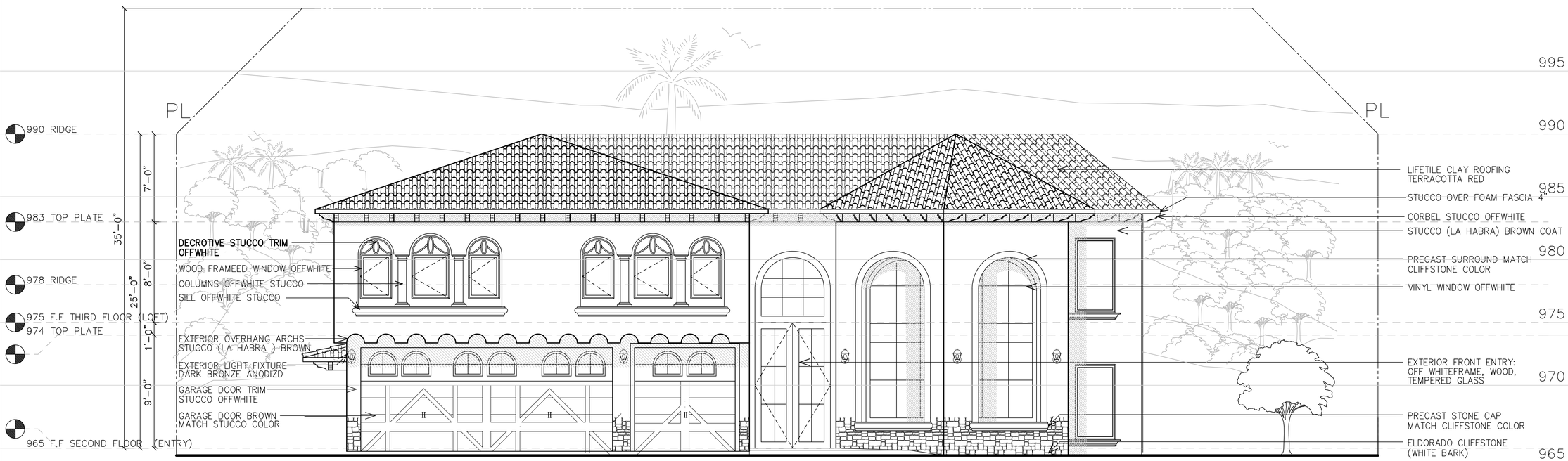
DESIGN
DRAWN BY:
CHECKED
OWNER APPROVAL

ROOF PLAN

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 9 OF

VERIFY ALL DIMENIONS IN FILED PRIOR TO STAR OF CONSTRUCTION NOTIFY ARCH OF ANY DISCREPANCIES PRIOR TO STARTING WORK



NORTH ELEVATION

SCALE 1/4" = 1 F T – 0 IN

(MEDITERRANEAN STYLE HOUSE)

PETE VOLBEDA Architecture Planning
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DESIGN
DRAWN BY:
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OWNER APPROVAL

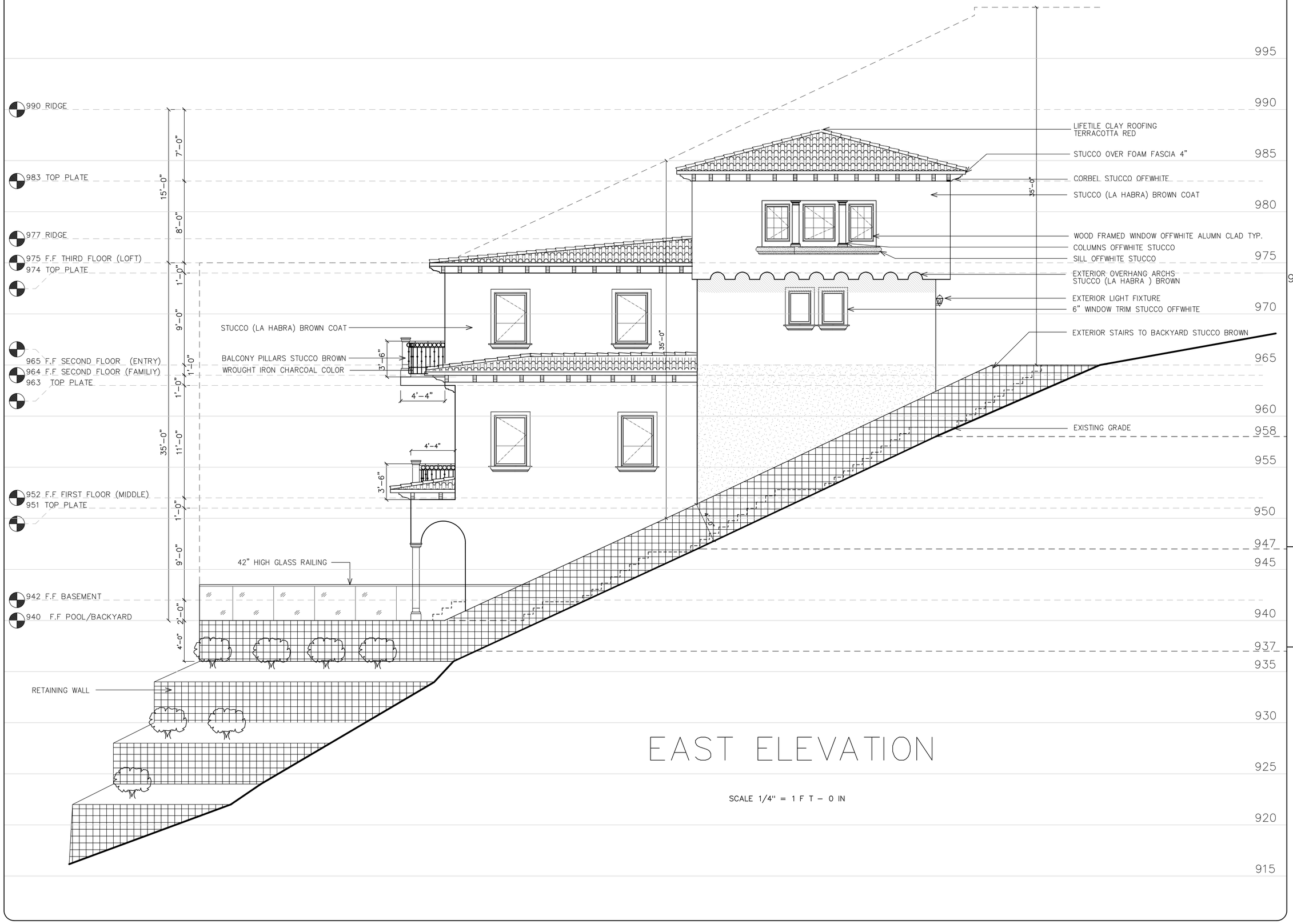
PATHNAME C:\ACCDWNRS\VARTZ STEELE CINE DWG\ND.MADCS

NORTH ELEVATION

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 10 OF

VERIFY ALL DIMENIONS IN FILED PRIOR TO STAR OF CONSTRUCTION NOTIFY ARCH OF ANY DISCREPANCIES PRIOR TO STARTING WORK



EAST ELEVATION

SCALE 1/4" = 1 F T – 0 IN

PETE VOLBEDA Architecture Planning
164 N 2nd AVE, SUITE 100 UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

2/6/2026

REV	DATE

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OWNER APPROVAL	
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EAST ELEVATION

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 11 OF

VERIFY ALL DIMENIONS IN FILED PRIOR TO STAR OF CONSTRUCTION NOTIFY ARCH OF ANY DISCREPANCIES PRIOR TO STARTING WORK

SOUTH ELEVATION

SCALE 1/4" = 1 F T – 0 IN

PETE VOLBEDA Architecture Planning
164 N 2nd AVE, SUITE 100 UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

2/6/2026

REV	DATE

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	PLAN CHECK
	APPROVED
	BID SET

DESIGN
DRAWN BY:
CHECKED
OWNER APPROVAL

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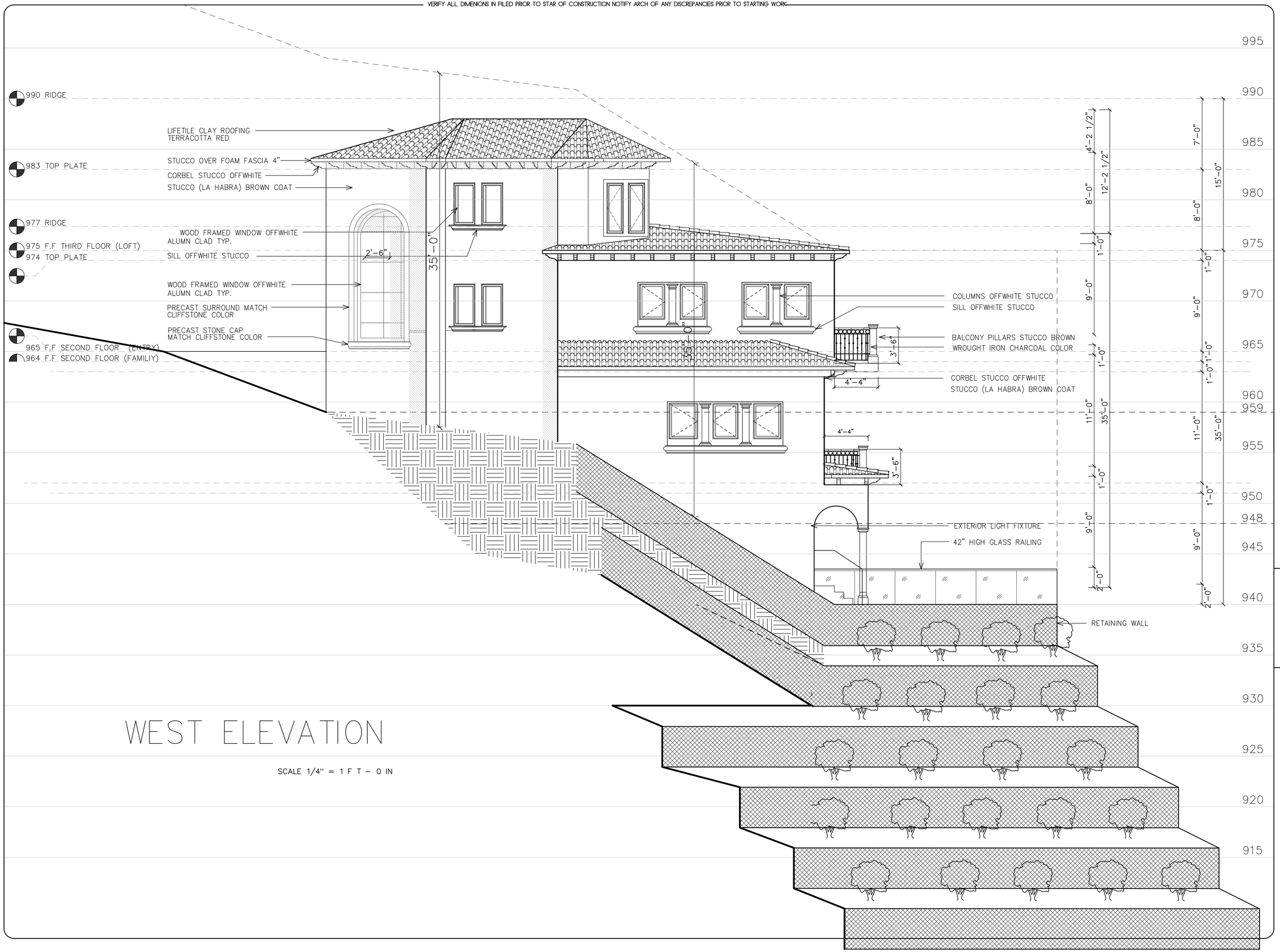
SOUTH ELEVATION

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 12 OF

VERIFY ALL DIMENIONS IN FILED PRIOR TO STAR OF CONSTRUCTION NOTIFY ARCH OF ANY DISCREPANCIES PRIOR TO STARTING WORK



WEST ELEVATION

SCALE 1/4" = 1 F T – 0 IN

PETE VOLBEDA Architecture Planning
164 N 2nd AVE, SUITE 100 UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

2/6/2026

REV	DATE

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	PLAN CHECK
	APPROVED
	BID SET

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DRAWN BY:
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OWNER APPROVAL

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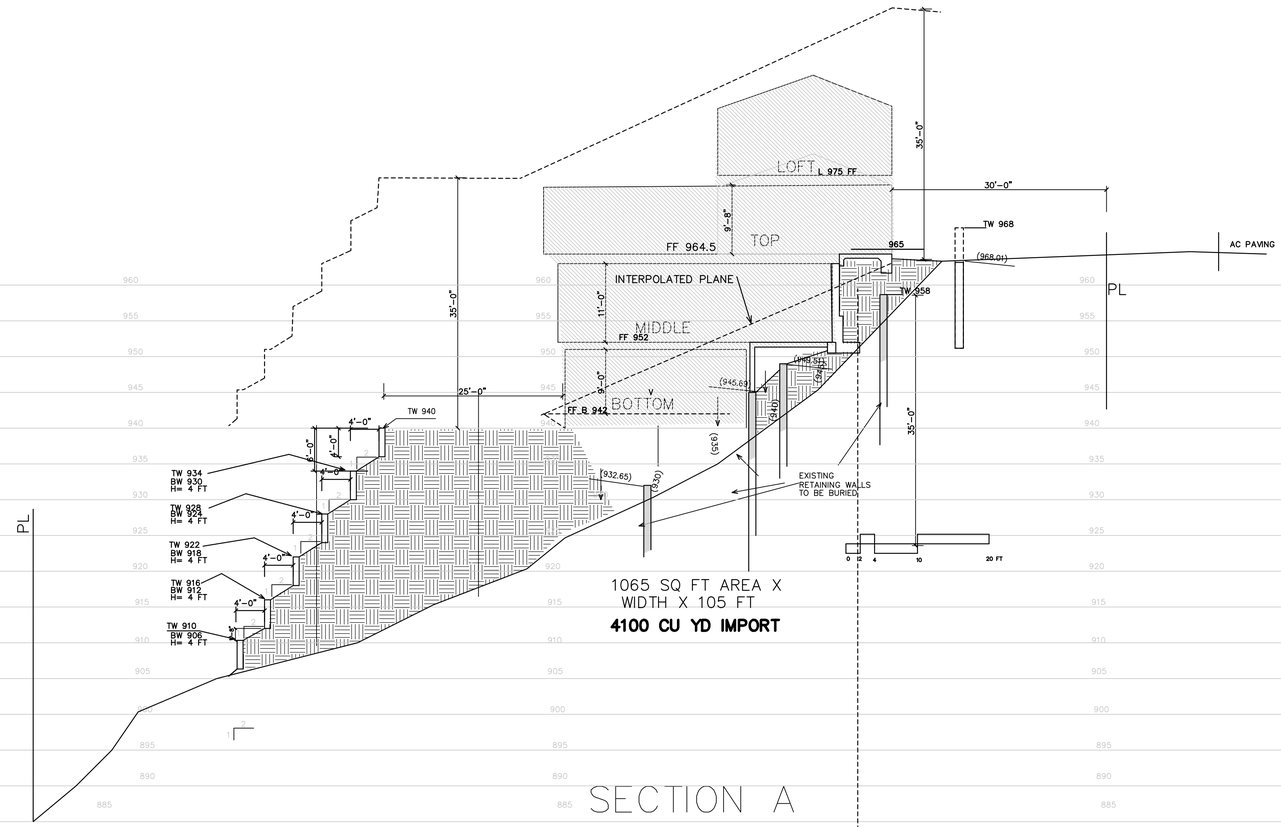
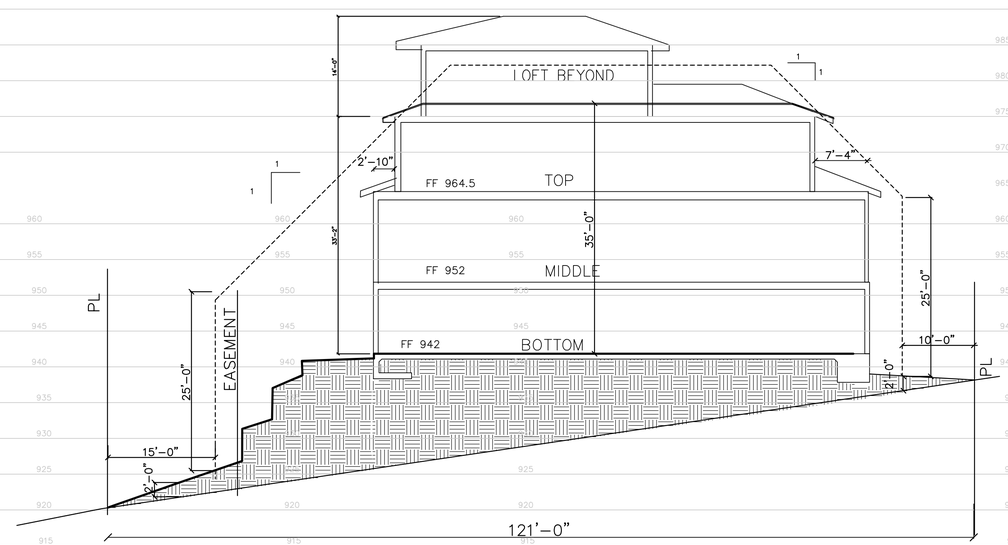
WEST ELEVATION

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 13 OF



SECTION A



SECTION B

PETE VOLBEDA Architecture Planning
164 N 2nd AVE., SUITE 100 UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

2/6/2026

REV	DATE

	DATE
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DRAWN BY:	
CHECKED	
OWNER APPROVAL	
	PLAN CHECK
	APPROVED
	BID SET

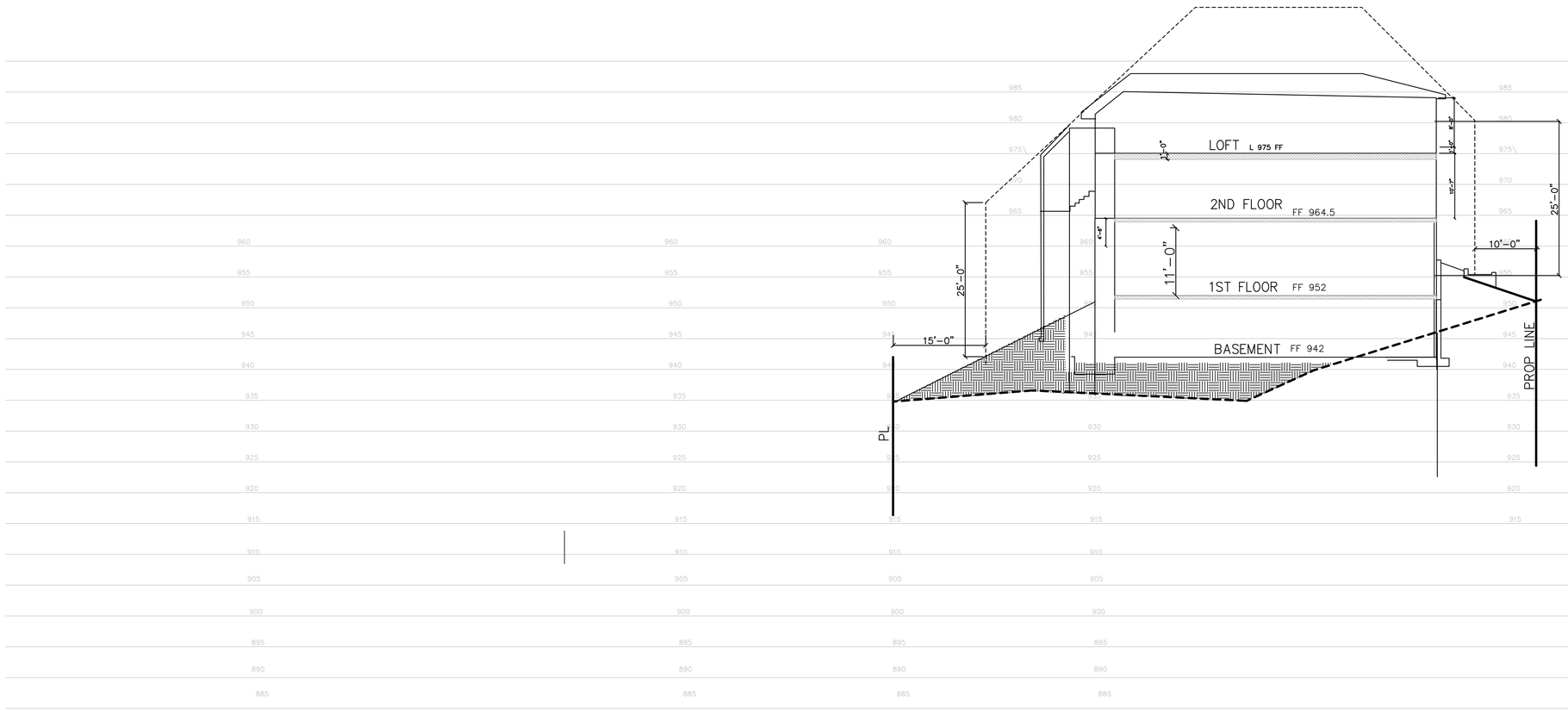
PATRI VIAJE CLYDDOMINGS VATZ, STEELE, CHNE DIMOND BMOCS

SHEET 14 OF

SECTION A & b

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

VERIFY ALL DIMENSIONS IN FIELD PRIOR TO START OF CONSTRUCTION NOTIFY ARCHITECT PRIOR TO STARTING WORK



SECTIONS C

SCALE 1 INCH = 10 FT

PETE VOLBEDA Architecture Planning
164 N 2nd AVE., SUITE 100 UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

11/13/2025

REV	DATE

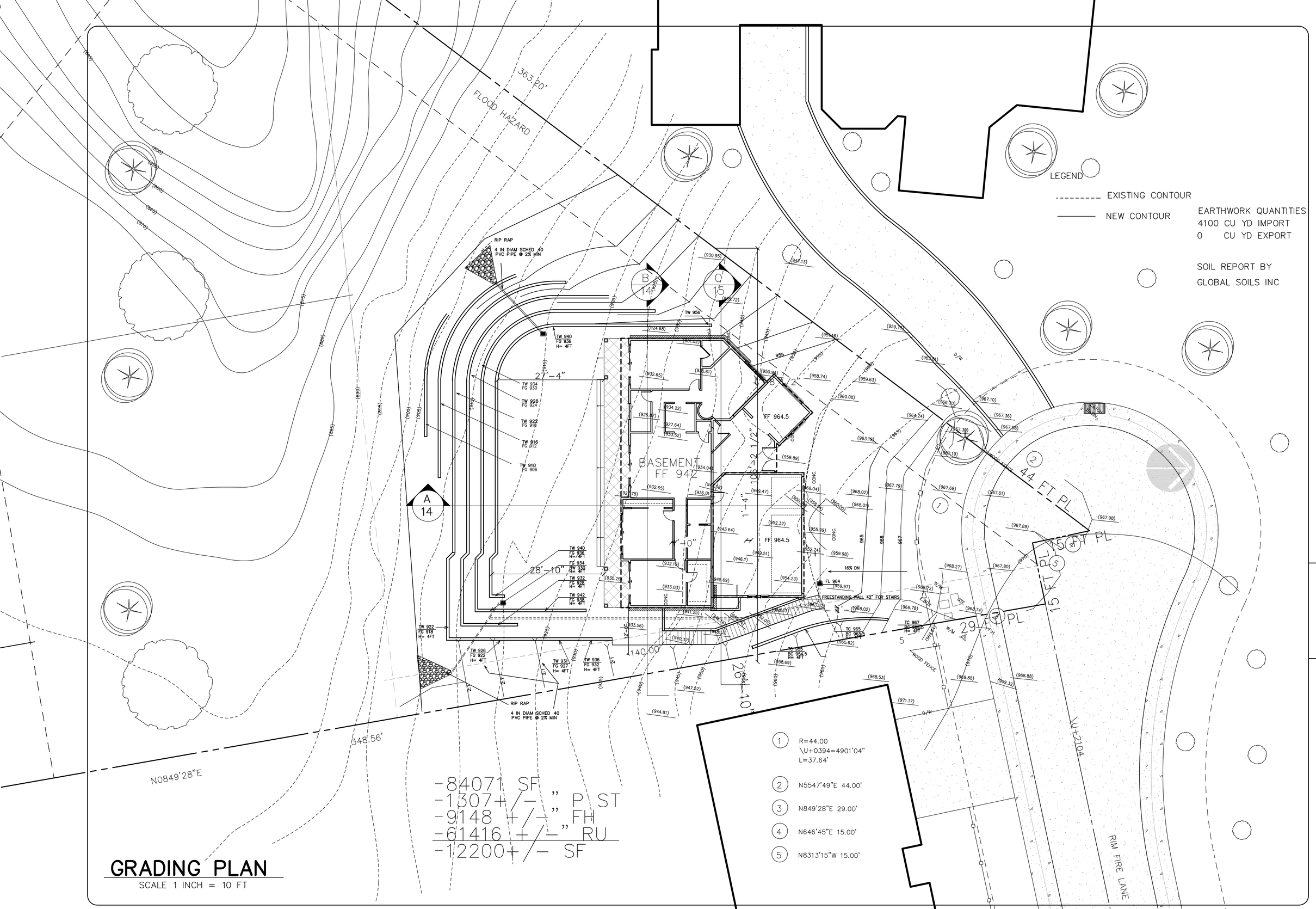
DESIGN	
DRAWN BY:	
CHECKED	
OWNER APPROVAL	
DATE	
PLAN CHECK	
APPROVED	
BID SET	

PATRI VANE CLOCKWINDERS VATE, FIBER E. CINE DIAMOND WADCS

SHEET 15 OF

SECTIONS C

RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR



GRADING PLAN

SCALE 1 INCH = 10 FT

PETE VOLBEDA Architecture Planning
164 N 2nd AVE., SUITE 100 UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

2/10/2026

REV	DATE

DESIGN	
DRAWN BY:	
CHECKED	
OWNER APPROVAL	
DATE	
PLAN CHECK	
APPROVED	
BID SET	

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GRADING PLAN 10 SCALE

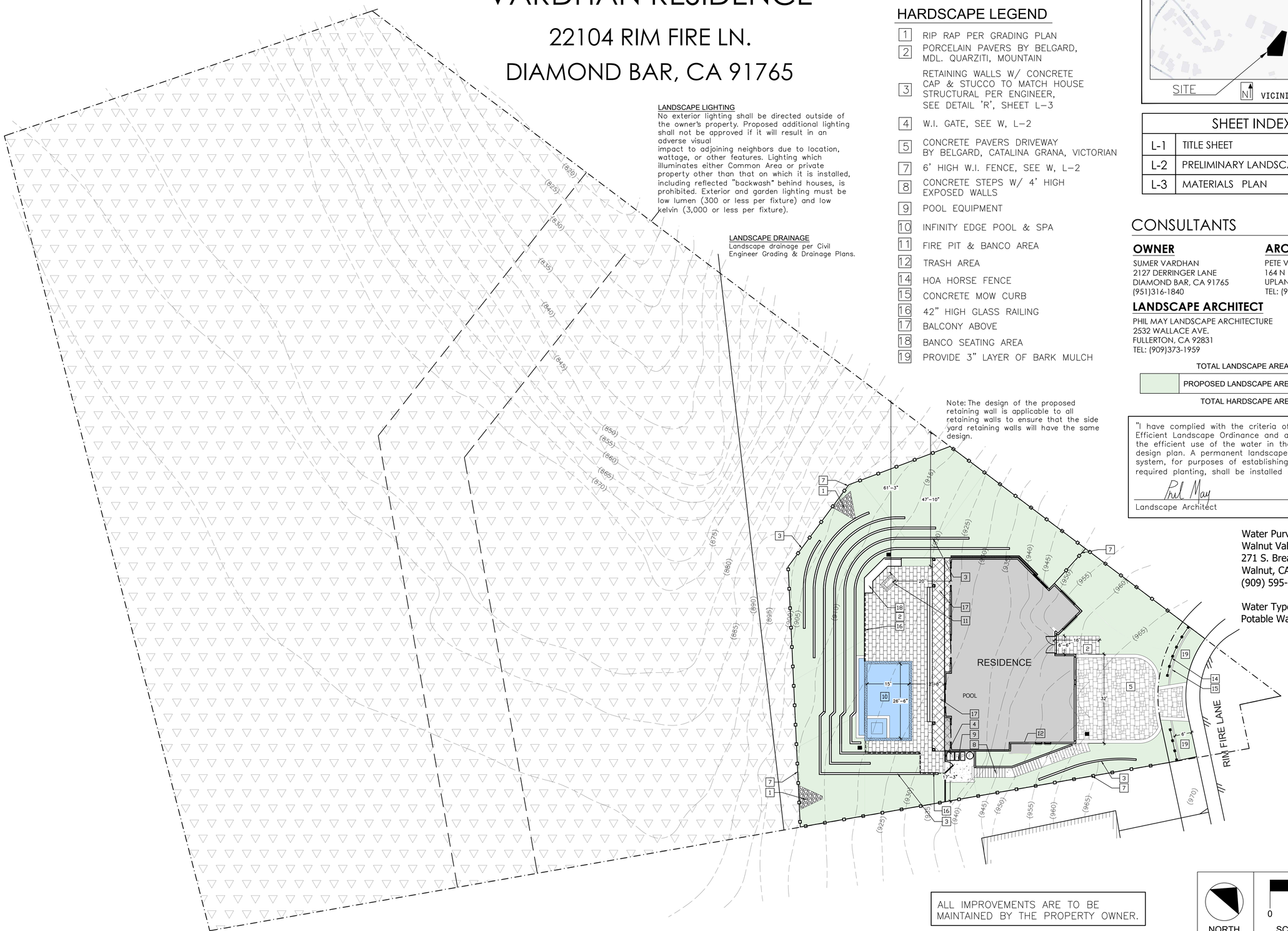
RESIDENCE FOR S VARDHAN
22104 RIM FIRE, DIAMOND BAR

SHEET 16 OF

LANDSCAPE ARCHITECTURAL PLANS

VARDHAN RESIDENCE

22104 RIM FIRE LN.
DIAMOND BAR, CA 91765



LANDSCAPE LIGHTING
No exterior lighting shall be directed outside of the owner's property. Proposed additional lighting shall not be approved if it will result in an adverse visual
impact to adjoining neighbors due to location, wattage, or other features. Lighting which illuminates either Common Area or private property other than that on which it is installed, including reflected "backwash" behind houses, is prohibited. Exterior and garden lighting must be low lumen (300 or less per fixture) and low kelvin (3,000 or less per fixture).

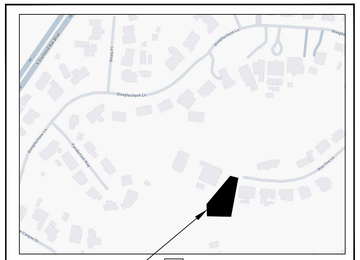
LANDSCAPE DRAINAGE
Landscape drainage per Civil Engineer Grading & Drainage Plans.

Note: The design of the proposed retaining wall is applicable to all retaining walls to ensure that the side yard retaining walls will have the same design.

ALL IMPROVEMENTS ARE TO BE MAINTAINED BY THE PROPERTY OWNER.

HARDSCAPE LEGEND

1. RIP RAP PER GRADING PLAN
2. PORCELAIN PAVERS BY BELGARD, MDL. QUARZITI, MOUNTAIN
3. RETAINING WALLS W/ CONCRETE CAP & STUCCO TO MATCH HOUSE STRUCTURAL PER ENGINEER, SEE DETAIL 'R', SHEET L-3
4. W.I. GATE, SEE W, L-2
5. CONCRETE PAVERS DRIVEWAY BY BELGARD, CATALINA GRANA, VICTORIAN
7. 6' HIGH W.I. FENCE, SEE W, L-2
8. CONCRETE STEPS W/ 4' HIGH EXPOSED WALLS
9. POOL EQUIPMENT
10. INFINITY EDGE POOL & SPA
11. FIRE PIT & BANCO AREA
12. TRASH AREA
14. HOA HORSE FENCE
15. CONCRETE MOW CURB
16. 42" HIGH GLASS RAILING
17. BALCONY ABOVE
18. BANCO SEATING AREA
19. PROVIDE 3" LAYER OF BARK MULCH



SHEET INDEX	
L-1	TITLE SHEET
L-2	PRELIMINARY LANDSCAPE PLAN
L-3	MATERIALS PLAN

CONSULTANTS

OWNER
SUMER VARDHAN
2127 DERRINGER LANE
DIAMOND BAR, CA 91765
(951)316-1840

ARCHITECT
PETE VOLBEDA ARCHITECT
164 N 2ND AVE, SUITE 100.
UPLAND, CA 91786
TEL: (909)373-1150

LANDSCAPE ARCHITECT
PHIL MAY LANDSCAPE ARCHITECTURE
2532 WALLACE AVE.
FULLERTON, CA 92831
TEL: (909)373-1959

TOTAL LANDSCAPE AREA = 75,139 SQ. FT.

PROPOSED LANDSCAPE AREA = 6,954 SQ. FT.

TOTAL HARDSCAPE AREA = 2,548 SQ. FT.

"I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them for the efficient use of the water in the landscape design plan. A permanent landscape and irrigation system, for purposes of establishing and maintaining required planting, shall be installed on all slopes."

Phil May — 02-05-2026
Landscape Architect — Date

Water Purveyor:
Walnut Valley Water District
271 S. Brea Canyon Road
Walnut, CA 91789
(909) 595-1268

Water Type:
Potable Water

REVISIONS	BY

PHIL MAY LANDSCAPE ARCHITECTURE
2532 Wallace Ave.
Fullerton,CA 92831
Phone:(909)373-1959
pmay@philmaydesign.com
www.philmaydesign.com

REGISTERED LANDSCAPE ARCHITECT — PHILIP S. MAY — SIGNATURE — 05-31-2027 RENEWAL DATE — 02-05-2026 DATE — STATE OF CALIFORNIA

TITLE SHEET

VARDHAN RESIDENCE
22104 RIM FIRE LN.
DIAMOND BAR, CA 91765

DRAWN R.S.
CHECKED R.S.
DATE 02-05-2026

L-1
OF 3 SHEETS

JOB NO. 25036

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF PHIL MAY LANDSCAPE ARCHITECTURE. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF PHIL MAY LANDSCAPE ARCHITECTURE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. COPYRIGHTED ©

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WATER FACTOR	COMMENTS
	TREES					
	Olea europea 'Swan Hill'	Fruitless Olive Tree	36" box	3	Low	multi–trunk
	Arbutus 'Marina'	NCN	36" box	1	Medium	multi–trunk
	Cercis Forest Pansy	Cercis Forest Pansy	24" box	1	Medium	standard trunk
	SHRUBS					
	Agave attenuata	Foxtail Agave	5 gal	6	Low	
	Carissa macrocarpa	Natal Plum	5 gal	30	Medium	
	Raphiolepis i. 'Ballerina'	Indian Hawthorn	5 gal	34	Medium	
	Rosa floribunda 'Iceberg'	White Shrub Rose	5 gal	18	Medium	
	Ligustrum j. 'Texanum'	Texas Privet	5 gal	10	Medium	
	Callistemon 'Little John'	Dwarf Bottlebrush	5 gal	10	Medium	
	PERENNIALS					
	Agapanthus africanus	Lily of the Nile	1 gal	10	Medium	
	Hemerocallis hybrids	Daylily	1 gal	7	Medium	
	Dietes bicolor	Fortnite Lily	1 gal	94	Medium	
	Dianella t. 'Variegata'	Variegated Flax Lily	1 gal	7	Medium	
	GROUNDCOVER					
	Myoporum parvifolium	Myoporum	5 gal	223	Low	

Synthetic Turf to be installed per manufacturer standards.

Undisturbed native vegetation to remain in place. Owner to remove all dead or dying landscaping to meet minimum brush clearance requirements.

PLANT MATERIAL	REQUIRED PERCENTAGE OF MIX	PROPOSED %
TREES		
24–inch	20%	100%
15–gallon	80%	0%
SHRUBS		
5–gallon	70%	70%
1–gallon (herbaceous only)	30%	30%
GROUNDCOVER		
Coverage within 2 years	100%	100%

Water Efficient Landscape Worksheet

Reference Evapotranspiration (ETo)		47.5	Diamond Bar, CA				
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1) Low water use plants	0.2	Drip	0.81	0.247	3,734	921.98	27,152
2) Medium Water Use shrubs	0.5	Overhead Spray	0.75	0.667	2,770	1,846.67	54,384
2) Medium Water Use Trees	0.5	Overhead Spray	0.75	0.667	450	300.00	8,835
							0
							0
							0
			Totals		6,954	3,068.64	90,372
Special Landscape Areas (SLA): Recycled Water							
				1	0	0	0
				1	0	0	0
				1	0	0	0
				Totals	0	0	0
						Estimated Total Water Use (ETWU)	**90,372**
						Maximum Allowed Water Allowance (MAWA)	**92,158**

Plant Water Use Type	Plant Factor	Irrigation method	Efficiency
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0.4-0.6		
high	0.7-1.0		

MAWA (annual gallons allowed)= (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year.
LA is the total landscape area in sq. ft, SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.

ETAF Calculations

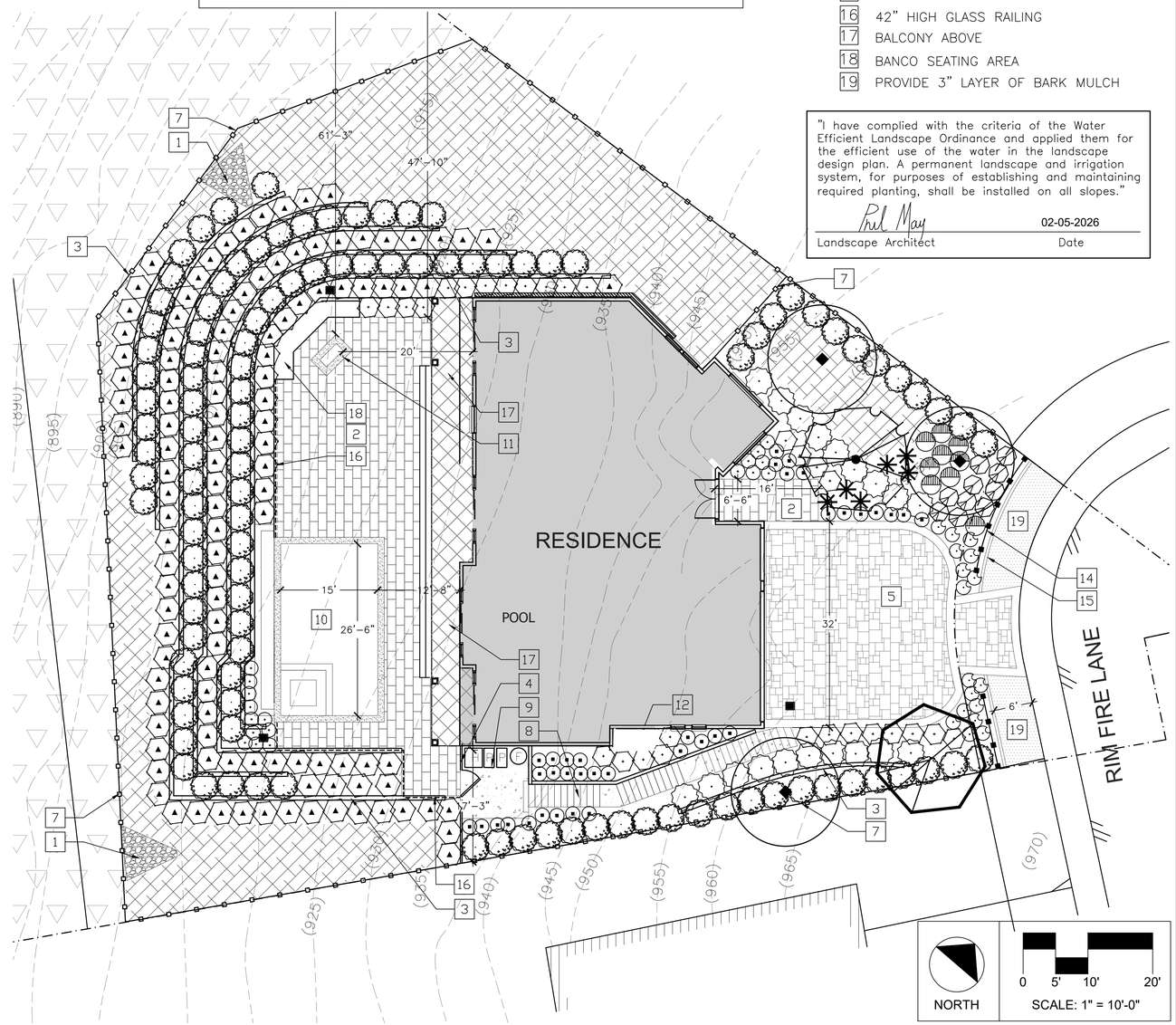
Regular Landscape Areas

Total ETAF x Area	3,069
Total Area	6,954
Average ETAF	**0.44**

Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	3,069
Total Area	6,954



HARDSCAPE LEGEND

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19. PROVIDE 3" LAYER OF BARK MULCH

"I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them for the efficient use of the water in the landscape design plan. A permanent landscape and irrigation system, for purposes of establishing and maintaining required planting, shall be installed on all slopes."

Phil May — 02-05-2026
Landscape Architect — Date

REVISIONS	BY

PHIL MAY LANDSCAPE ARCHITECTURE
2532 Wallace Ave.
Fullerton,CA 92831
Phone:(909)373-1959
pmay@philmaydesign.com
www.philmaydesign.com

REGISTERED LANDSCAPE ARCHITECT — PHILIP S. MAY — SIGNATURE — 05-31-2027 RENEWAL DATE — 02-05-2026 DATE — STATE OF CALIFORNIA

PRELIMINARY LANDSCAPE PLAN

VARDHAN RESIDENCE
22104 RIM FIRE LN.
DIAMOND BAR, CA 91765

DRAWN R.S.
CHECKED R.S.
DATE 02-05-2026

L-2

OF 3 SHEETS

JOB NO. 25036

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MADE IN AMERICA

SGW synthetic grass warehouse

POWERED BY: TENCATE materials that make a difference

Diamond Supreme Spring

A 2.50 inch pile, polyethylene monofilament with thatch construction. Designed specifically for landscape application to enhance recovery.

Recommended Use: Moderate Traffic
Main Application: Landscape
Colors: Field Green/Lime Green

LEAD FREE PRODUCTS:
- **All of our products undergo rigorous stringent testing to ensure safety and non-toxicity.**
- **Our products contain no detectable traces of lead or other RCRA hazardous waste heavy metals.**

Main Advantage

- Designed to truly replicate grass
- A 2.50 inch blade height helps to achieve a natural appearance
- Uniquely formulated polyurethane coated backing provides greater seam strength and durability
- Not water soluble
- Heat and frost resistant
- UV stabilized
- No harmful environmental effects
- Non-flammable, ant-acid yarn resistant to chemical attack

LEAD FREE PRODUCT

Yarn Characteristics

Type: Monofilament PE with Thatch
Composition/Structure: Polyethylene
Denier: 10,800/5,000
Colors: Field Green/Lime Green

Manufactured Rolls

Width: 15 feet
Length: 80 feet
Shipping Weight: 1050 pounds*
Roll Diameter: 24 inches
Total Product Weight: Approximately 117 ounces per square yard

Additional Info

Recommended Maintenance: Rinse and groom as needed to limit matting

Drainage Rate: 28 inches of rain per hour per square yard

*Approximate Weight

Turf Characteristics

Pile/Face Weight: 90 ounces*
Pile Height: 2.50 inches
Machine Gauge: 3/8 inch
Thatch Color: Brown

Particulate Infill

Type: Quality Infill
Weight: 3-4 pounds per square foot*
Height: Approximately .5 inch to .75 inch
Colors: Green, Black or Natural

Backing Characteristics

Primary Backing 1
Composition/Structure: K29 Dual Layered Non-Expansive Backing
Weight: 7.3 ounces per square yard*
Finish Coating: Polyurethane 20 ounces per square yard*

EXCLUSIVELY DISTRIBUTED BY SGW

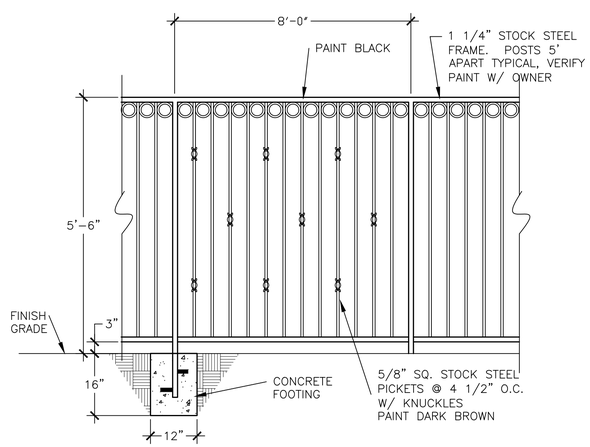
TigerTurf™

www.SyntheticGrassWarehouse.com

SYNTHETIC TURF

PORCELAIN PAVERS
BY: BELAGARD, QUARZITI - MOUNTAIN

CONCRETE PAVERS
BY: BELGARD - CATALINA GRANA (montecito)



W W.I. FENCE
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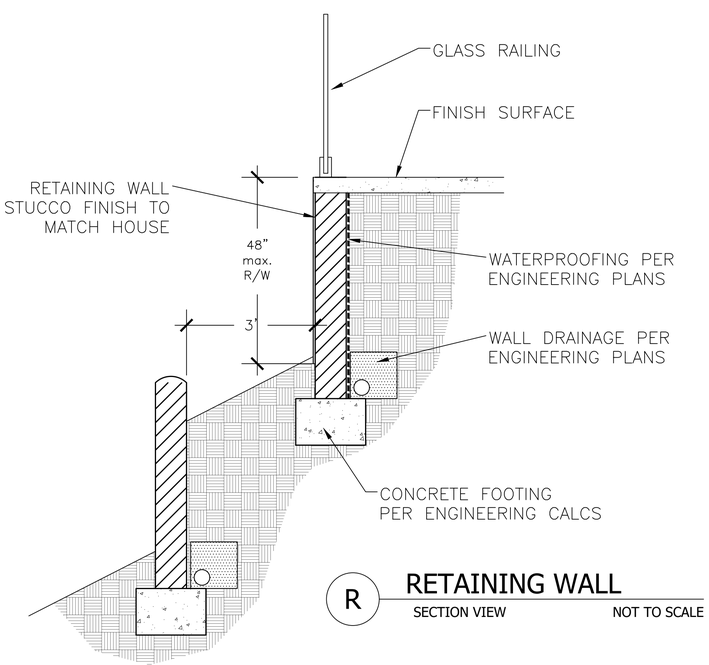

R RETAINING WALL
SECTION VIEW NOT TO SCALE

REVISIONS	BY

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2532 Wallace Ave.
Fullerton,CA 92831
Phone:(909)373-1959
pmay@philmaydesign.com
www.philmaydesign.com

REGISTERED LANDSCAPE ARCHITECT PHILIP S. MAY STATE OF CALIFORNIA
SIGNATURE
05-31-2027 RENEWAL DATE
02-05-2026 DATE

MATERIALS PLAN

VARDHAN RESIDENCE
22104 RIM FIRE LN.
DIAMOND BAR, CA 91765

DRAWN R.S.
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L-3
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PLANNING COMMISSION AGENDA REPORT

TO: Chair and Members of the Planning Commission

FROM: Greg Gubman, Community Development Director

SUBJECT: Project Status Report

RECOMMENDATION:

Staff recommends the Planning Commission receive and file the Project Status Report dated March 24, 2026.

BACKGROUND/DISCUSSION:

The Project Status Report has been prepared and is being presented for receipt and filing.

PREPARED BY:

Arlene Laviera, Administrative Coordinator, Community Development

ATTACHMENTS:

1. 03-24-26 Project Status Report

CITY OF DIAMOND BAR
COMMUNITY DEVELOPMENT DEPARTMENT

PROPERTY LOCATION

PLANNING COMMISSION REVIEW	File #	AP	Applicant	PC 03/24/26	CC 04/07/26	PC 04/14/26	CC 04/21/26	PC 04/28/26	CC 05/05/26
22104 Rim Fire Lane (New Single-Family Residence)	DR PL2025-55	RL	Pete Volbeda	PH					

ADMINISTRATIVE REVIEW

Property Location	File #	AP	Applicant

PENDING ITEMS

Property Location	File #	AP	Applicant	Status
2720 Broken Feather (New Single-Family Residence)	DR PL2025-34	MN	Yao Pan	First incomplete letter sent 5/27/25 – waiting for additional information
1741 Derringer Lane (New Single-Family Residence)	DR PL2025-62	MN	Ralph Poon	First incomplete letter sent 9/11/25 – waiting for additional information
2001 Derringer Lane (2-lot subdivision)	TPM 83036 PL2021-46	MN	Gurbachan S. Juneja	Under review
Gentle Springs Ln. and S. Prospectors Rd. (36-unit for sale development with Affordable Units)	SB 330, DR & TTM PL2025-77	GL	Tranquil Garden LLC	Under review
2583 Indian Creek (New single-family residence)	DR PL2025-67	MN	Mike Lou	Second incomplete letter sent 1/20/26 – waiting for additional information
2595 Indian Creek (New single-family residence)	DR PL2025-66	RL	Mike Lou	Second incomplete letter sent 1/16/26 – waiting for additional information
1400 Montefino Ave (49-unit for-sale development)	GPA, ZC, TTM, DR, & CUP PL2025-29	MN	Sarah Klaustermeier	Under review
23007 Ridge Line (New single-family residence)	DR PL2025-27	MN	Terry Chang	Second Incomplete Letter Sent 01/07/2026 – waiting for additional information
23901 Ridge Line (2-lot Subdivision)	TPM PL2022-119	DT/MN	Pete Volbeda	Third incomplete letter sent 8/20/25 – waiting for additional information
2867 Shadow Canyon (Addition and remodel to single-family residence)	DR PL2025-47	RL	Alan Gao	Third Incomplete Letter Sent 03/03/2026 – waiting for additional information

LEGEND
PH = PUBLIC HEARING
AP = ASSIGNED PLANNER
PC = PLANNING COMMISSION
CC = CITY COUNCIL
D = DISCUSSION ITEM

PENDING ITEMS (continued)

Property Location	File #	AP	Applicant	Status
SB9 & Reasonable Accommodations Ordinance	DCA PL2019-43	MN	City of Diamond Bar	Under Review
20857 Quail Run (Two-story addition to legal nonconforming residence)	MCUP & PP PL2026-05	RL	Luo Yan	First Incomplete Letter Sent 02/24/2026